

CITY OF GROSSE POINTE WOODS, MICHIGAN
20025 Mack Plaza Dr.
Rescheduled Planning Commission Meeting
Thursday, June 25, 2015
7:30 p.m.

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **PLEDGE OF ALLEGIANCE**
4. **ACCEPTANCE OF AGENDA**
5. **RECOGNITION OF COUNCIL REPRESENTATIVE/S**

6. **APPROVAL OF MINUTES:**
 - Planning Commission Workshop – 05/26/15
 - Planning Commission – 05/26/2015

7. **CONTINUED REVISION TO PREVIOUSLY APPROVED FAÇADE CHANGE:
CHURCHILL’S BISTRO CIGAR BAR, 19271 MACK AVE:**
 - A. PC Excerpt – 05/26/15
 - B. Memo – 06/17/15 – Building Official (G.Tutag)
 - C. Proposed Elevations Sheet A-4 – 06/01/15
 - D. Memo w/attachments – 05/19/15 – Building Official (G.Tutag)
 - E. Letter of Request – 05/05/15 – Etchen Gumma Ltd (E.Etchen)
 - F. Proposed Elevations Sheet A-4 – 05/04/15
 - G. PC Excerpt – 10/28/14
 - H. Letter of Request – 10/13/14 – Churchill’s Bistro (N.Zaitouna)
 - I. Memo – 10/21/14 – Building Official (G.Tutag)
 - J. Design Guidelines - Architectural Elements/Quality Materials
 - K. Proposed Elevations Sheet A-4 – 09/11/14

8. **SITE PLAN REVIEW: URGENT CARE FACILITY, 20599 MACK AVE**
 - A. Permit Application – 05/28/15
 - B. Letter of Request – 06/12/15 – Dikerson Development, Inc. (J. Dickerson)
 - C. Site Plan Review Meeting Checklist – Urgent Care Facility
 - D. Memo – 06/15/15 – Building Official (G. Tutag)
 - E. Memo – 06/08/15 - Director of Public Safety (B. Smith)
 - F. Memo – 06/07/15 – Fire Inspector (J. Provost)
 - G. Memo – 06/10/15 – Director of Public Services (J. Ahee)
 - H. Letter – 06/11/15 – Nowak & Fraus Engineers (B. Brickel)
 - I. Aerial Photo – 20599 Mack Avenue
 - J. Site Plan Sheet SP1 – 05/29/15

- K. Site Plan Sheet SP2 – 05/29/15
- L. Site Plan Sheet SP3 – 05/29/15
- M. Landscape Plan L1 – 05/29/15
- N. Schematic Floor Plan A2.01 – 05/29/15
- O. Exterior Elevations A3.01 – 05/29/15
- P. Photos (22)

9. **BUILDING OFFICIAL’S MONTHLY REPORT:**

Building Department Report – May 2015

10. **COUNCIL REPORT:**

June – Stapleton

11. **INFORMATION ONLY: COUNCIL REPRESENTATIVE FOR NEXT MEETING:**

July - Vaughn

12. **NEW BUSINESS:**

2020 Plan (Hamborsky/Vitale/Fuller/Gilezan)

Special Sign (Vaughn/Fuller/Stapleton)

13. **PUBLIC COMMENT:**

14. **ADJOURNMENT:**

PLANNING COMMISSION WORKSHOP
05-26-15 – 1

MINUTES OF THE PLANNING COMMISSION WORKSHOP MEETING HELD ON MAY 26, 2015 IN THE CONFERENCE ROOM OF THE MUNICIPAL BUILDING, 20025 MACK AVENUE, GROSSE POINTE WOODS, MICHIGAN.

The meeting was called to order at 6:41 p.m. by Chair Vitale.

Roll Call: Chair Vitale
Fuller, Gilezan, Hamborsky, Profeta, Stapleton

Absent: Rozycki, Vaughn

Also Present: Building Official Tutag
Property Maintenance Inspector Ditty
Deputy City Clerk Gerhart

The first item on the agenda was **Continued Discussion: Streetscape Objects**. The Chair provided an overview of the proposed streetscape choices, and how they will be incorporated into the City's design standard. The Building Official believes that this will be a great first step in improving the aesthetics of the community. Standardizing the streetscape will provide a range of options for business owners looking to improve the outside of their locations, while creating a cohesive look along Mack Avenue.

Property Maintenance Inspector Sean Ditty then presented two design options that complement each other, and fit with the City's design standard. The Commission preferred the idea of selecting one of the two designs to further reinforce the notion of a cohesive design standard. It was the consensus of the Commission to select the Northgate design option for benches and trash receptacles in black.

Discussion ensued regarding the following:

- The potential of replacing the current City-owned benches along Mack with the winning design; dependent upon the availability of funds. As of current there are approximately 39 trash receptacles and 12 City-owned benches along Mack Avenue;
- The color of the streetscape options and tying the color into other existing streetscape items, including street lights and bike racks;
- Other potential funding sources including the Beautification Commission and the Grosse Pointe Woods Foundation;
- The potential for the City purchasing the benches and trash receptacles in bulk to reduce the cost to the business owners;
- Make streetscape options part of the conditional approval process for new businesses;
- The potential for incorporating the trolley stops into the design standard, including strategic placement of benches.

PLANNING COMMISSION WORKSHOP
05-26-15 – 2

The Commission directed the Building Official to gather a more comprehensive catalog of streetscape options, including fencing and planters. This proposed catalog should include a photo, a short description, and a current price per piece for each item. The Building Official is to present this catalog and information regarding the potential cost savings of bulk ordering at the next regularly scheduled meeting.

The Planning Commission Workshop was adjourned at 7:27 p.m.

Respectfully submitted,

Steve Gerhart
Deputy City Clerk

PLANNING COMMISSION
05/26/15 – 09

MINUTES OF THE PLANNING COMMISSION OF THE CITY OF GROSSE POINTE WOODS HELD ON TUESDAY, MAY 26, 2015, IN THE COUNCIL-COURT ROOM OF THE MUNICIPAL BUILDING, 20025 MACK AVENUE, GROSSE POINTE WOODS, MICHIGAN.

The meeting was called to order at 7:33 p.m. by Chair Vitale.

Roll Call: Chair Vitale
Fuller, Gilezan, Hamborsky, Profeta, Stapleton, Vaughn

Absent: Rozycki

Also Present: Building Official Tutag
Deputy City Clerk Gerhart

Motion by Gilezan, seconded by Vaughn, that Commission Member Rozycki be excused from tonight's meeting.

MOTION CARRIED by the following vote:

YES: Fuller, Gilezan, Hamborsky, Profeta, Stapleton, Vaughn, Vitale
NO: None
ABSENT: Rozycki

Motion by Vaughn, seconded by Stapleton, that all items on tonight's agenda be received, placed on file, and taken in order of appearance.

MOTION CARRIED by the following vote:

YES: Fuller, Gilezan, Hamborsky, Profeta, Stapleton, Vaughn, Vitale
NO: None
ABSENT: Rozycki

The Chair recognized Council Member Ketels who was in attendance at tonight's meeting.

Motion by Profeta, seconded by Fuller, regarding **Approval of Minutes**, Planning Commission minutes dated April 28, 2015, be approved as submitted.

MOTION CARRIED by the following vote:

YES: Fuller, Gilezan, Hamborsky, Profeta, Stapleton, Vaughn, Vitale
NO: None
ABSENT: Rozycki

PLANNING COMMISSION

05/26/15 – 10

The next item on the agenda was a **Revision to Previously Approved Façade Change: Churchill's Bistro Cigar Bar, 19271 Mack Ave.** Building Official Tutag gave an overview of the project and how at a recent inspection it was identified that the work was not in keeping with the approved design. Both the architect and the owner have been contacted and notified that the revised plan required changes in order to be compliant with the City's design standards. John Gumma, on behalf of Churchill's Bistro Cigar Bar, was present for questions and discussion. The Chair stated they are not willing to dictate the exact design of the building but do want a more cohesive look. There was a consensus of the Commission to have the architects work with the Building Department to create a cohesive plan. This item is to return to the Planning Commission for final approval.

Motion by Stapleton, seconded by Vaughn, regarding the **Revision to Previously Approved Façade Change: Churchill's Bistro Cigar Bar, 19271 Mack**, to table this item to the June 23, 2015 Planning Commission Meeting.

MOTION CARRIED by the following vote:

YES: Fuller, Gilezan, Hamborsky, Profeta, Stapleton, Vaughn, Vitale

NO: None

ABSENT: Rozycki

The next item on the agenda was an **Awning Appeal, Churchill's Bistro Cigar Bar, 19271 Mack**. The following individual was heard regarding the proposed awning:

Kal Mansour, Sign Emporium
11035 E. 9 Mile Rd
Warren, MI 48089

The Building Official provided an overview of the proposed awning and stated that it is compliant with the ordinance except for the material; metal is proposed. The petitioner stated their desire is for outdoor seating and the design element that the metal awning represents. The contractor then presented to the Commission examples of other metal seam awnings for their review. Discussion was held regarding the potential for using the metal seam awning to cover the valet booth.

Motion by Hamborsky, seconded by Stapleton, regarding **Awning Appeal, Churchill's Bistro Cigar Bar, 19271 Mack**, that the Planning Commission concur with the recommendation of the Building Official and recommend that the City Council approve a variance to Section 32-31(a) and allow a 30' x 4' standing seam metal awning to be installed on the east wall of 19271 Mack Avenue, with the final design to be presented to the Planning Commission at the June 23, 2015 meeting.

MOTION CARRIED by the following vote:

YES: Fuller, Gilezan, Hamborsky, Profeta, Stapleton, Vaughn, Vitale

NO: None

ABSENT: Rozycki

PLANNING COMMISSION

05/26/15 – 11

Motion by Profeta, seconded by Vaughn, that the Planning Commission immediately certify the previous motion.

MOTION CARRIED by the following vote:

YES: Fuller, Gilezan, Hamborsky, Profeta, Stapleton, Vaughn, Vitale

NO: None

ABSENT: Rozycki

The next item on the agenda was the **Building Official's Monthly Report – April 2015**. Mr. Tutag reported the following:

- He will meet with the developers of the old bank at Mack and Lennon, regarding the development of a medical facility, and this item will likely come before the Planning Commission in the coming months;
- The Building Department has been extremely busy, it's good to see people investing in the City;
- A consultant has been hired to ensure compliance with respect to the Rivers site plan.

Regarding the **May 2015 Council Reports**:

- Council Member Ketels had nothing to report.

Commission Member Stapleton will attend the Council Meetings in June.

Under **New Business**, the following **Subcommittee Reports** were provided:

2020 Plan – Commission Members Hamborsky, Vitale, Fuller and Gilezan had nothing to report.

Special Sign – Commission Members Vaughn and Fuller had nothing to report.

Motion by Vaughn, seconded by Gilezan, that the Planning Commission Meeting be adjourned at 8:26 p.m. PASSED UNANIMOUSLY.

Respectfully submitted,

Steve Gerhart
Deputy City Clerk

PLANNING COMMISSION EXCERPT
05/26/15

The next item on the agenda was a **Revision to Previously Approved Façade Change: Churchill's Bistro Cigar Bar, 19271 Mack Ave.** Building Official Tutag gave an overview of the project and how at a recent inspection it was identified that the work was not in keeping with the approved design. Both the architect and the owner have been contacted and notified that the revised plan required changes in order to be compliant with the City's design standards. John Gumma, on behalf of Churchill's Bistro Cigar Bar, was present for questions and discussion. The Chair stated they are not willing to dictate the exact design of the building but do want a more cohesive look. There was a consensus of the Commission to have the architects work with the Building Department to create a cohesive plan. This item is to return to the Planning Commission for final approval.

Motion by Stapleton, seconded by Vaughn, regarding the **Revision to Previously Approved Façade Change: Churchill's Bistro Cigar Bar, 19271 Mack**, to table this item to the June 23, 2015 Planning Commission Meeting.


MOTION CARRIED by the following vote:

YES: Fuller, Gilezan, Hamborsky, Profeta, Stapleton, Vaughn, Vitale

NO: None

ABSENT: Rozycki

**CITY OF GROSSE POINTE WOODS
BUILDING DEPARTMENT
MEMORANDUM**

TO: Planning Commission
FROM: Gene Tutag, Building Official 
DATE: June 17, 2015
SUBJECT: Continued Review: Façade Improvements at Churchill's Cigar Bar,
19271 Mack Avenue

At the May 26, 2015 Planning Commission meeting a revised plan for a façade change to 19271 Mack Avenue was reviewed and discussed with the applicant and architect and subsequently tabled until the June 2015 meeting to give the applicant time to create a cohesive plan.

A revised plan submitted on June 11, 2015 shows a metal standing seam roof has been added to the existing valet shed, piers are shown at the window borders, trim has been added at the top and bottom of the windows and up/down light fixtures are now on both elevations of the building's façade.

The new plan is an improvement over what was submitted last month. I spoke with the owner today. He will be present at the meeting and will be open to any suggestions from the Planning Commission Members.

Project:

Churchill's
Cigar Bar

19271 Mack Avenue
Grosse Pointe Woods, MI 48236

Designed E. A. Etchen, Architect

Drawn L. Akrawi

Approved E. A. Etchen, Architect

Scale AS NOTED

Notes

This sheet includes details
no. 1 Thru 5

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written consent of Etchen Gumma Limited.

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Contractor shall check and verify all dimensions and
conditions at job site.

Issued

Bids & Permits 01/08/14
Owner's Review 07/07/14
Bids & Permits 09/11/14
Approvals 05/04/15
City Approval 06/01/15

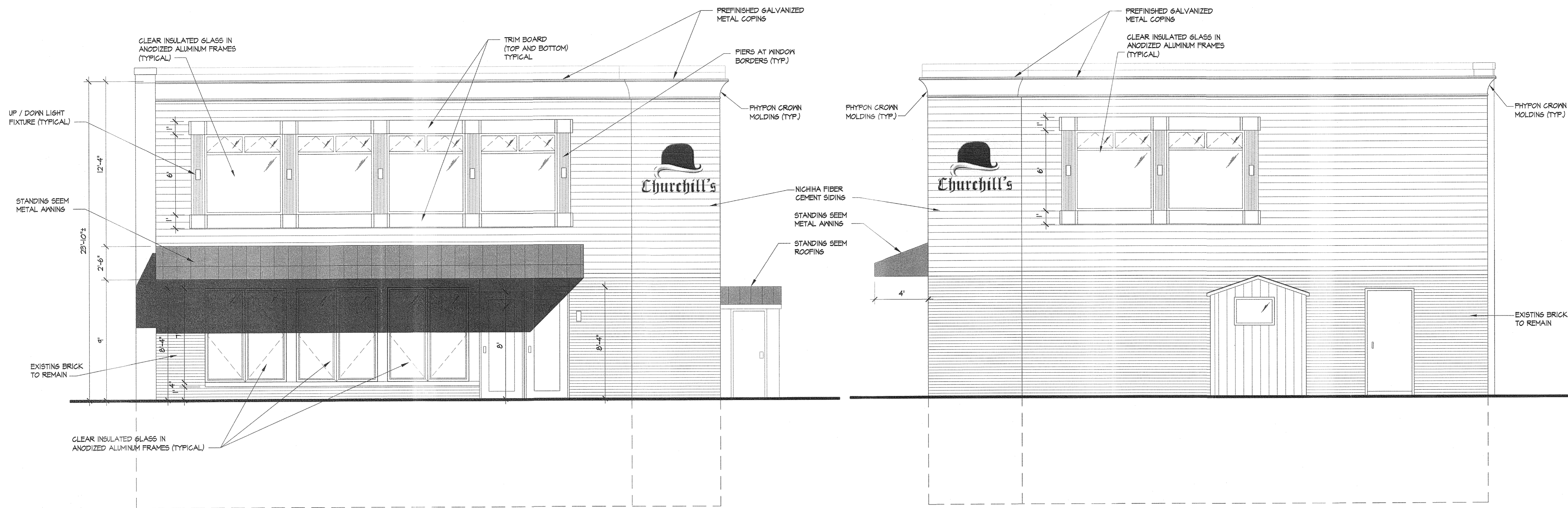
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JUN 11 2015
CITY OF GROSSE PTE. WOODS
BUILDING DEPT.

Sheet Title
and Number

Proposed
Elevations

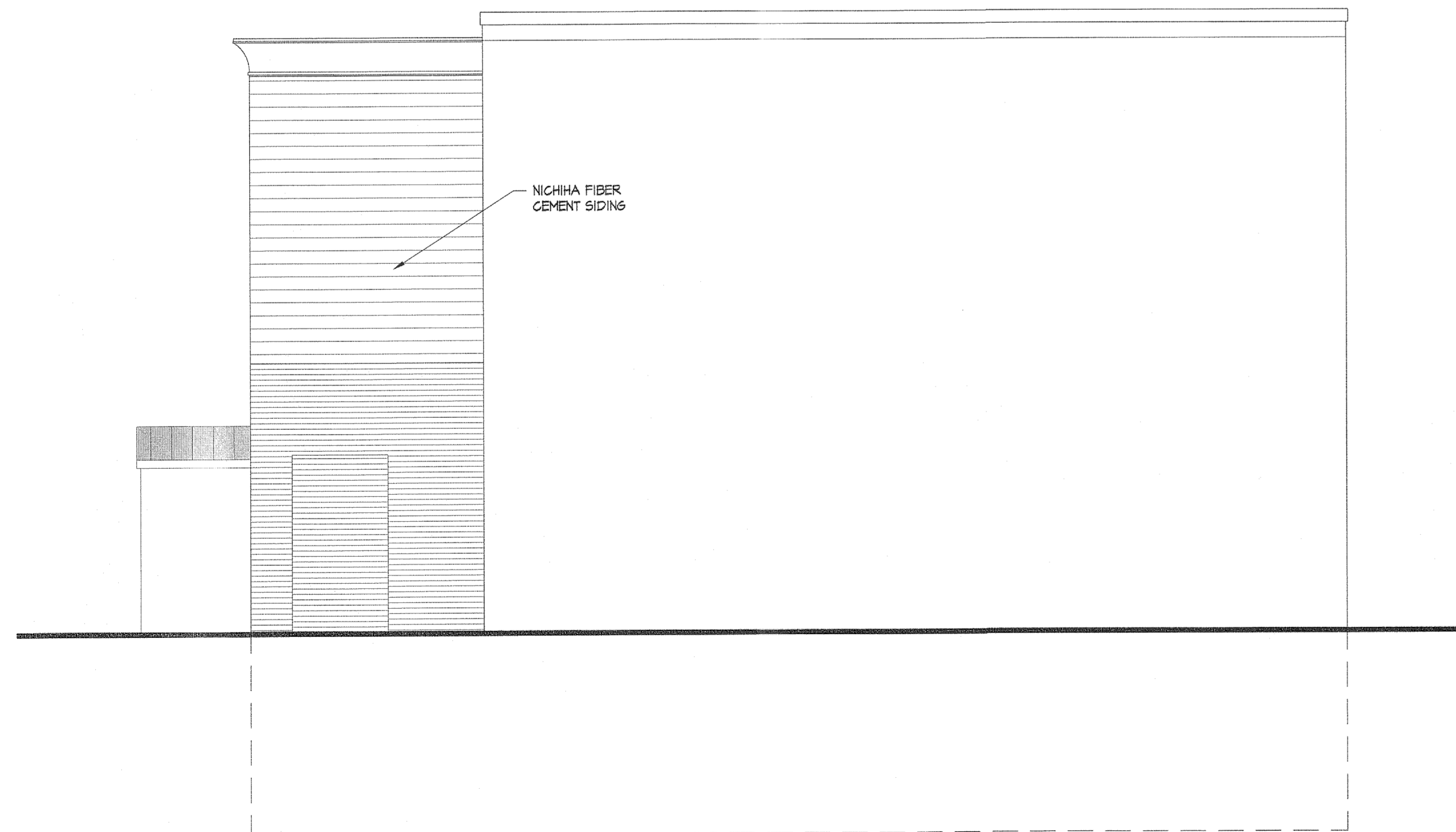
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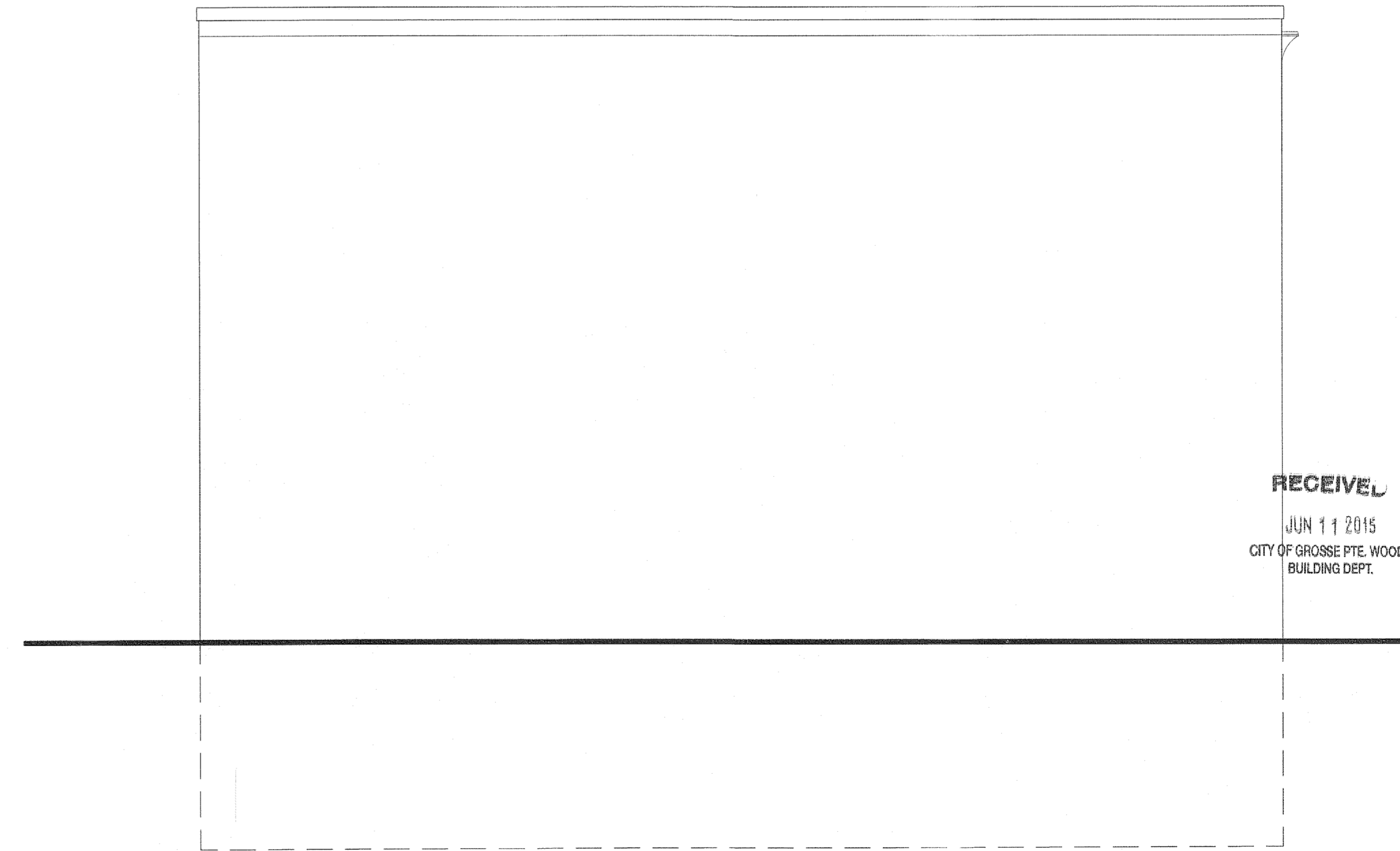
WEST ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
REVISE SECOND FLOOR WINDOW OPENING PER WINDOW
OPENING PLAN ON SHEET A-3

NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



CITY OF GROSSE POINTE WOODS
BUILDING DEPARTMENT
MEMORANDUM

TO: Planning Commission
FROM: Gene Tutag, Building Official
DATE: May 19, 2015
SUBJECT: Façade Change, Churchill's Bistro Cigar Bar, 19271 Mack Avenue

At the October 28, 2014 Planning Commission meeting, a plan for façade improvements to Churchill's Bistro Cigar Bar at 19271 Mack Avenue, was approved. During a recent inspection it was discovered that the work taking place on the façade was not in compliance with the approved plan. The owner was notified and is requesting approval of an amended plan for the building's façade.

The new façade would have been a significant change from the existing building's exterior. The plans showed that the existing mansard will be removed, new windows, doors, and cornice will be installed, and the main entry door relocated. Metal coping, phypon moldings, limestone, wood paneling, cement based siding, and a standing seam metal roof were to be used for the façade as indicated on the plans. The approved plans show the existing main entry on the northeast corner of the building will be relocated to the Mack Avenue elevation. In addition, opening french doors will be installed in place of existing windows on the Mack Avenue elevation. The location and sizes of the proposed windows differ from the previously approved drawings.

A letter dated May 5, 2015 and an elevation sheet have been provided by the project's architect, Edward A. Etchen, indicating reasons for the changes.

The new plan does not bear much of a resemblance to the approved design as much of the molding, columns, arch, and siding have been changed or eliminated.

Sections 50-373 and 50-374 of the City's code are attached. These sections regulate the design and approval of exterior building alterations within the City.

The applicant feels that these changes provide a more pleasing balance, match better with the surrounding buildings and eliminate clutter by providing a more contemporary image. The applicant also states that the proposed fiber cement siding is a more durable material than the previously approved wood siding.

The proposed façade represents a significant change from the previously approved design. The proposed design changes need to be discussed with the applicant at the meeting to ensure that principals and concepts of the City's Design Guidelines are adhered with.

Suggestions to the design could include:

- 1) Exterior light fixtures to compliment the façade; and
- 2) addition of a design element such as a sill under the windows to scale down the large expanse of the walls; or
- 3) incorporate some of the design elements found on the approved plan.

3 Attachments

City Ord #50-419(1)g - Permitted uses

City Ord #50-373 - Design standards

City Ord # 50-374 - Change of appearance of building exterior

GT/sjs

- **Sec. 50-373. - Design standards.**

- (a) *General.*

- (1) New construction, renovations, remodeling or exterior building alterations within all C commercial, C-2 high intensity city center, and RO-1 restricted office zoning districts shall be designed in conformance with approved design standards found in this section and on file with the building department. The purpose of these design standards is to promote a coordinated and complimentary use of design elements that result in a theme oriented, harmonious appearance and image for the commercial and high intensity residential areas of the city.

- (2) To be in compliance with these standards, all designs as governed by this section shall contain a dominant use of assorted architectural design elements generally described as "Colonial," "Williamsburg Colonial," "Georgian Colonial," "Early American," "Classic" or "Traditional." Specific definitions and examples of these elements are included within this section, and in the "design standards" guidelines on file with the building department. The guidelines may be modified by planning commission resolution.

- (b) *Design components.*

- (1) The words "Colonial," "Williamsburg Colonial," "Georgian Colonial," "Early American," "Classic" or "Traditional" shall collectively refer to use of a pallet of materials, trim, shapes, forms, colors and details most commonly associated with the dominant architectural styles utilized during the early development of the east coast American towns and cities. Some examples of where these designs are commonly found and featured include Williamsburg, Virginia, Cape Cod, New England and Philadelphia.

- (2) To more specifically define the assorted components that can be utilized to achieve this design style, the design standards guidelines include graphic examples of design elements, all of which are considered by definition of this section to be acceptable when collectively used within a total design. These elements shall be utilized in appropriate proportions and quantity to form an overall total design consistent with the requirements of this section.

- (3) Colors utilized in all design components shall be consistent with the approved color chart on file with the building department and shall be utilized to produce a balanced, coordinated and complimentary total design solution.

(Code 1975, § 5-8-5; Code 1997, § 98-205)

- **Sec. 50-374. - Change of appearance of building exterior in C, RO-1 or C-2 district.**

- (a) *Approval required.* All plans for new construction, renovations, remodeling or exterior building alterations within all C commercial district, the RO-1 restricted office district, and the C-2 high intensity city center district shall be submitted to the building inspector for approval prior to the issuance of any building, sign, or awning permit and any new certificate of occupancy as may be required. All plans will be submitted to the planning commission for review consistent with the design standards ordinance, unless otherwise exempt under subsection (b) of this section.
- (b) *Repair or maintenance.* The following repairs or maintenance to the exterior appearance of any building or structure are examples of changes not requiring planning commission review if compliant with other provisions of this Code including the design standards ordinance and approved colors:
 - (1) Replacement of windows or doors.
 - (2) Painting or repainting of building exterior.
 - (3) Repaving or repairs of driveways, sidewalks or parking lots.
 - (4) Repair or replacement of damaged or worn building elements.
 - (5) Signs in compliance with chapter 32
 - (6) Awnings or canopies in compliance with chapter 32
 - (7) Replacement or addition of gutters or downspouts.
 - (8) Emergency repairs or replacement requiring immediate attention.
 - (9) Exterior building lighting fixtures.
 - (10) Reshingling or replacement of mansard roof covering or other roof covering.

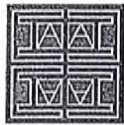
(Code 1975, § 5-8-6; Code 1997, § 98-206)

- **Sec. 50-419. - Permitted uses.**

The following uses shall be permitted by right in the C-2 high intensity city center district:

(1) *Retail businesses.* Retail businesses are permitted as follows:

- a. The sale and manufacture of baked goods, and the sale of confectionery, dairy products, delicatessen, fruits, vegetables, groceries, meats and food products; provided that the provisions of this subsection shall not be construed so as to permit the housing of live poultry or animals on the premises which are to be sold therefrom or which are to be slaughtered or processed into food or food products thereon.
- b. The sale of dry goods and variety merchandise.
- c. The sale of men's and boy's furnishings, shoes and hats; and women's ready-to-wear, furs, millinery, apparel and accessories.
- d. The sale of china, floor covering, hardware, household appliances, radios, paint, wallpaper, materials and objects for interior decorating, or furniture.
- e. The sale of books, magazines, newspapers, cigars, drugs, flowers, gifts, music, photographic goods, sporting goods or stationery.
- f. Restaurants, lunchrooms and cafeterias and places for the sale of soft drinks, juices, ice cream and nonalcoholic liquors, but excluding drive-thru facilities and places or businesses providing dancing or entertainment and places where food or beverages are dispensed to or served in automobiles parking on private property adjacent to and in connection with such establishments or are dispensed or served from an outside counter. A drive-thru facility may be permitted only as an accessory use in combination with a bank or financial institution.
- g. Establishments that sell alcoholic beverages for consumption on the premises, provided a liquor license has been approved by the city and granted by the liquor control commission. No dancing is allowed unless the establishment receives approval for a dance permit from the city pursuant to section 4-31, and the liquor control commission. This subsection does not prohibit singing, piano playing or the playing of other types of musical instruments.



ETCHEN
GUMMA
LIMITED

05 May 2015

RECEIVED

MAY 06 2015

CITY OF GROSSE PTE. WOODS
BUILDING DEPT.

Grosse Pointe Woods Planning Commission
20025 Mack Plaza
Grosse Pointe Woods, Mi. 48236

Subject: Façade change for Churchill's Cigar Bar, 19271 Mack Avenue
Grosse Pointe Woods, Mi. 48236

Dear Planning Commission:

During the exterior renovation process we became familiar with NICHHA Fiber Cement Siding and selected it to replace the wood paneling previously selected for the exterior of the second floor. NICHHA Siding is a more durable material and allows for a cleaner less cluttered expression presenting a more contemporary image. When we eliminated much of the clutter we found by reorganizing the windows that we could achieve a stronger relationship between the first and second floor fenestration achieving a more pleasing balance. We feel that the building having undergone these changes has become a better neighbor with the surrounding buildings and we hope that you enjoy this updated expression as much as we do.

Sincerely
Edward A. Etchen
Architect

ARCHITECTS • ENGINEERS • BUILDERS

31000 Northwestern Hwy. Suite L-100. • Farmington Hills, MI 48334 •

(248) 865-5555 • FAX (248) 865-5015

Project:

**Churchill's
Cigar Bar**

19271 Mack Avenue
Grosse Pointe Woods, MI 48236

Designed E. A. Etchen, Architect

Drawn L. Akroni

Approved E. A. Etchen, Architect

Scale AS NOTED

Notes

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no. 1 Thru 5

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Bids & Permits 01/08/14

Owner's Review 07/07/14

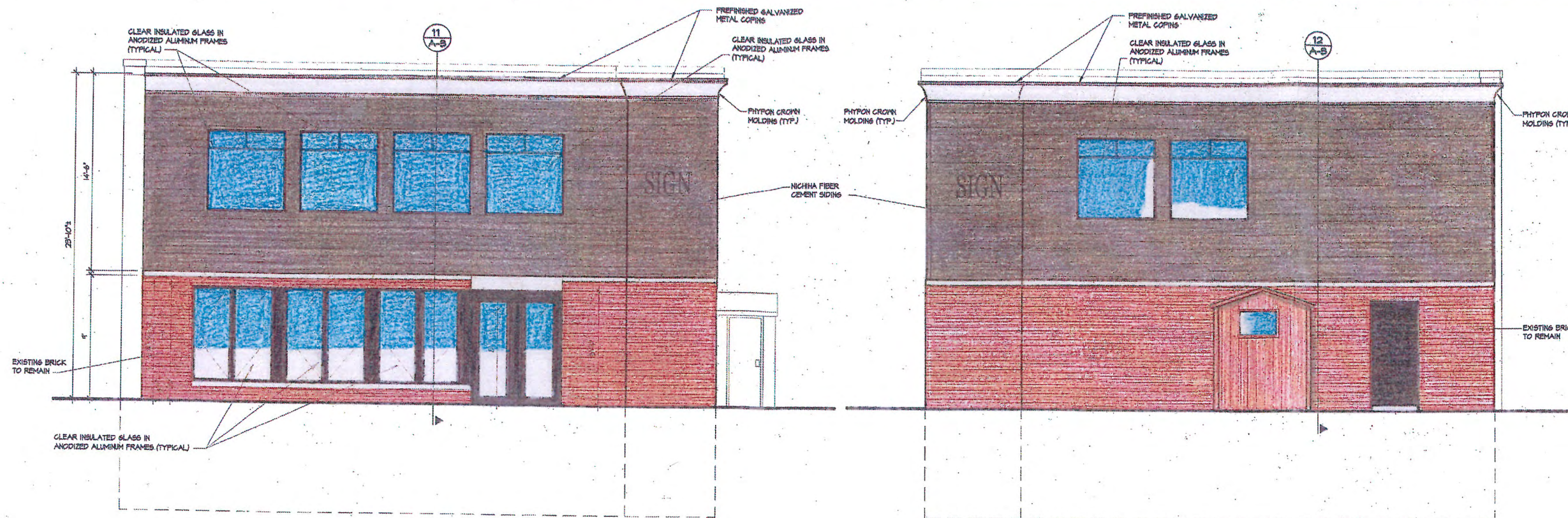
Bids & Permits 09/11/14

Approvals 05/04/15

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Elevations

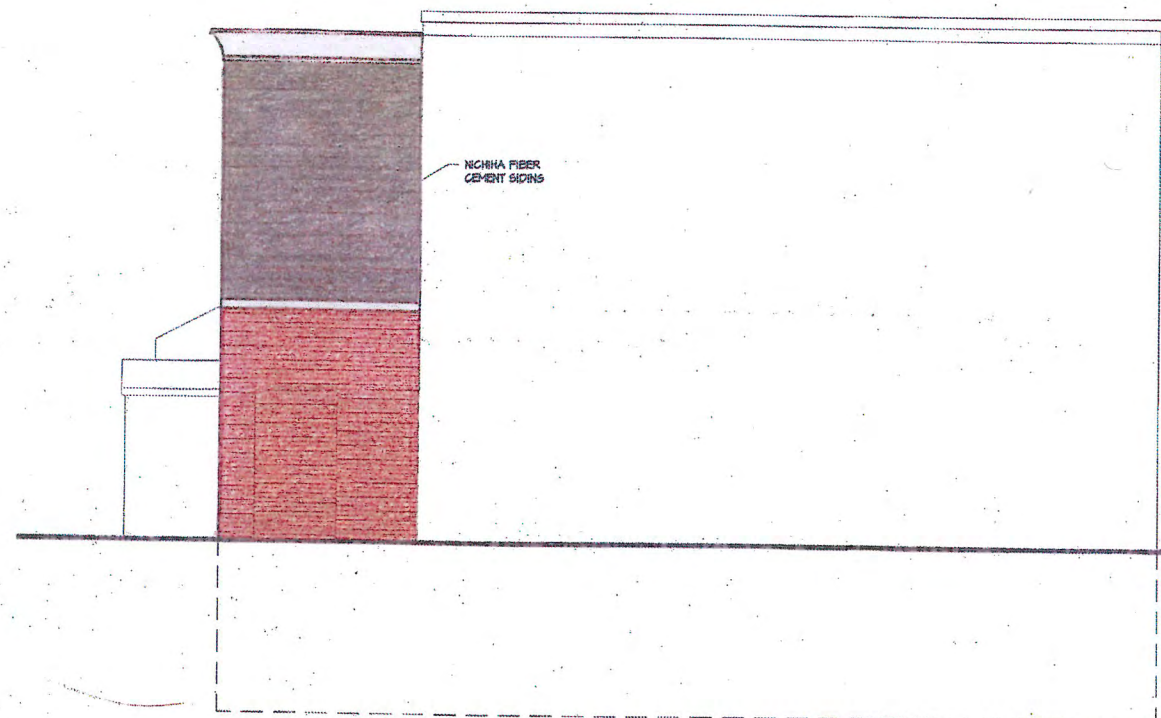
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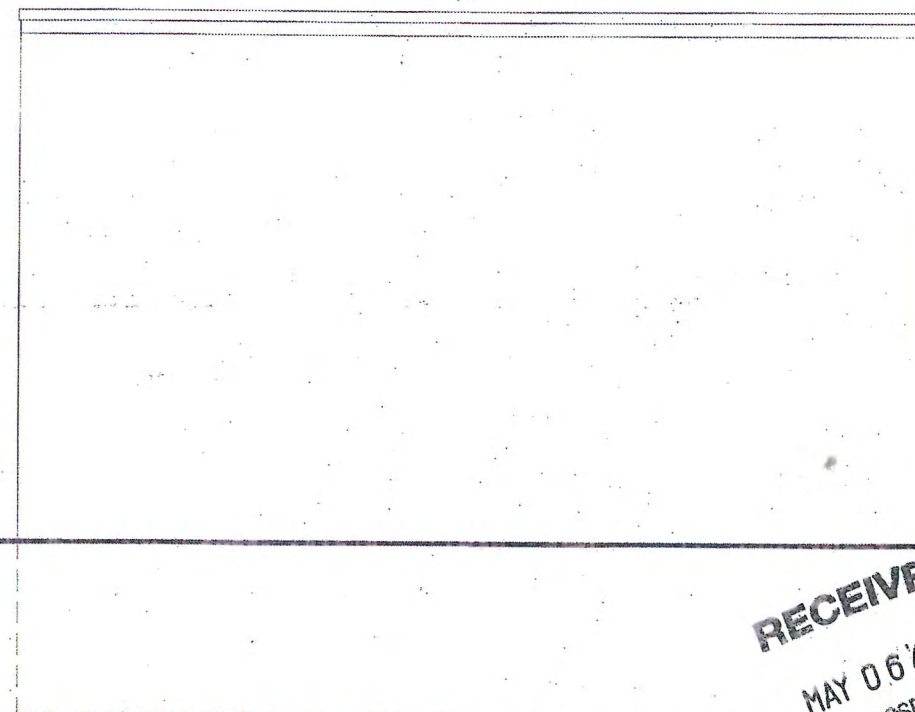
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RECEIVED
MAY 06 2015
CITY OF GROSSE-POINTE WOODS
BUILDING DEPT.

PLANNING COMMISSION EXCERPT
10/28/14

The next item on the agenda was the **Proposed Façade Change: Churchill's Bistro Cigar Bar, 19271 Mack**. Building Official Tutag gave an overview of the project noting that the design reflects the colonial style architectural elements mandated by the City Code. He was in favor of approving the request as long as it did not include signage and with the condition that any roof top equipment be screened as to prevent being viewed from grade level. John Gumma, on behalf of Churchill's Bistro Cigar Bar, was present for questions. Discussion ensued regarding the design concept.

Motion by Vaughn, seconded by Fuller, that the Planning Commission approve the **Proposed Façade Change: Churchill's Bistro Cigar Bar, 19271 Mack** as presented, with the following conditions:

1. Approval does not include sign approval, sign approvals require additional review;
2. Approval does not include any patio, a separate permit and administrative review will be required;
3. Any roof top equipment shall be properly positioned or screen as to not be visible from grade level and be approved by the Building Official;
4. Final façade design, lighting and colors be approved by the Building Official.

Substitute motion by Hamborsky, seconded by Vaughn, that the Planning Commission approve the **Proposed Façade Change: Churchill's Bistro Cigar Bar, 19271 Mack** as presented, with the following conditions:

1. Approval does not include sign approval, sign approvals require additional review;
2. Approval does not include any patio, a separate permit and administrative review will be required;
3. Any roof top equipment shall be properly positioned or screen as to not be visible from grade level and be approved by the Building Official;
4. Final façade design, lighting and colors be approved by the Building Official;
5. Give the Building Official the flexibility to approve a façade that maintains the current location of the entrance.

SUBSTITUTE MOTION CARRIED by the following vote:

YES: Fuller, Gilezan, Hamborsky, Harrell, Profeta, Rozycki, Vaughn, Vitale
NO: None
ABSENT: Stapleton

To: City of Grosse Pointe Woods

From:
Nash Zaitouna
Churchill's Bistro Cigar Bar
116 S. Old Woodward
Birmingham, MI 48009

RECEIVED
OCT 13 2014
CITY OF GROSSE POINTE WOODS
BUILDING DEPT.

Regarding: Proposed Grosse Pointe Woods Churchill's Location

To Whom It May Concern:

We are writing this to provide the City of Grosse Pointe Woods Board background information on the company of Churchill's Bistro Cigar Bar per the proposed location to be opened in Grosse Pointe Woods. The current ownership of Churchill's Bistro Cigar Bar has been in the premium cigar retailers business since 1990, and currently owns the franchise for all Churchill's locations. The first location was opened in 2002 in downtown Birmingham, MI. This location was a retail location that remained as a mainstay in downtown Birmingham till it was moved three doors down and reopened as Churchill's Bistro Cigar Bar. This location serves downtown Birmingham with a full American bistro menu, full bar, walk in humidor and numerous seating options. Lockers for cigar storage are available for yearly rental. The environment is maintained through a state of the art air filtration system, which completely replaces the air in the bistro with fresh air from the outdoors every fifteen minutes. A similar system is currently in place at the West Bloomfield location.

In 2009 the West Bloomfield location, Churchill's Cigar Bar, was opened. This location has remained opened in West Bloomfield and continues to serve its community with a friendly bar atmosphere, full humidor, and comfortable private lounges. This location has yearly storage lockers to compliment a large selection of cigars. A system based off of the one currently in use at the Birmingham location was installed into Churchill's Cigar Bar providing similar rates of fresh air being circulated throughout the building while insulating surrounding area's from the smoke. The proposed site in Grosse Pointe Woods is planned to have features of both the West Bloomfield and the Birmingham locations.

The proposed site for the new Churchill's Bistro Cigar bar is at 19271 Mack Avenue in Grosse Pointe Woods, the previous site of Robusto's Martini Bar. It is a two story building with a small basement located directly off of Mack Avenue with a small parking located at the rear of the building. Current plans include a re-facing of the building including new windows, including additional windows on the second floor, which will include the demolition mansard roof. The Mack Avenue frontage will include the addition of a series of French doors in replacement of existing windows. The front door will repositioned to face directly to Mack Avenue. The main portions of the exterior of the structure will be maintained and updated but no significant construction to expand the structure will take place. The interior will be

separated into two floors, with the upper floor being reserved as a private lounge complete with cigar storage lockers. Bar's will be located on both the upper and lower levels. The basement will house a small kitchen from which small plates will be served to guests. A similar air refreshing system to the ones located at the other locations will be installed to maintain a clean, fresh environment with the main portion of the equipment being installed upon the roof. Specific plans are to be submitted as follows, thank you.

Nash Zaitouna

CITY OF GROSSE POINTE WOODS
BUILDING DEPARTMENT
MEMORANDUM

TO: Planning Commission
FROM: Gene Tutag, Building Official
DATE: October 21, 2014
SUBJECT: Façade Change, Churchill's Bistro Cigar Bar, 19271 Mack Avenue

Churchill's Bistro Cigar Bar, in compliance with Section 50-374 of the City's code (copy attached) has submitted plans to remodel the exterior of the former Robusto's at 19271 Mack Avenue.

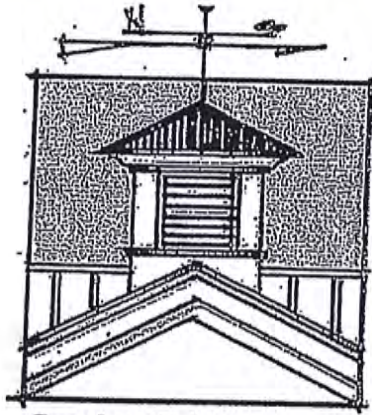
Churchill's Bistro Cigar Bar is planning on operating a cigar bar with lockers for cigar storage, a full bar with a bistro food menu and a walk-in humidor at this location. They currently operate two existing facilities, one in downtown Birmingham and another in West Bloomfield.

The existing building at 19271 Mack Avenue has been unoccupied since approximately February of 2012. The property is zoned C-2 (High Intensity City Center). This use as proposed is a permitted use per Section 50-419(1)g (copy attached).

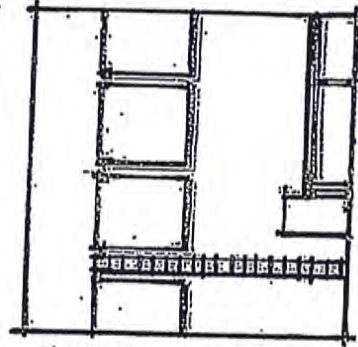
The building is located near the southern boarder of the city. AAA insurance is located to the north and a landscaped area owned by St John Hospital is directly to the south, Lazare's of Grosse Pointe is in the next building south.

The new façade represents a significant change from the existing building's dated mansard roof. The plans show that the existing mansard will be removed, new windows, doors and cornice will be installed and the main entry door relocated. Metal coping, phypon moldings, limestone, wood paneling, cement based siding and a standing seam metal roof will be used for the façade as indicated on the plans. Colors shown on the renderings are found on our approved color chart.

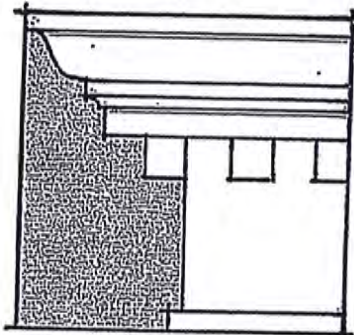
Architectural Elements:



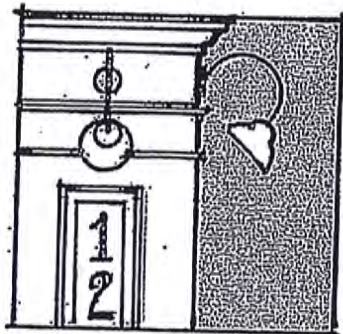
*Cupolas, Gables,
Weather vanes*



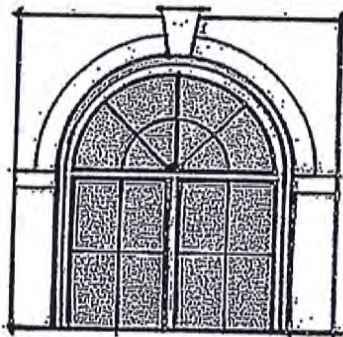
*Brick or
Stone Quoins*



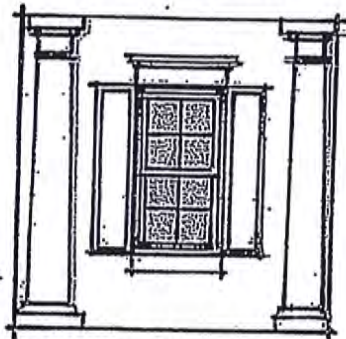
Cornice Trim



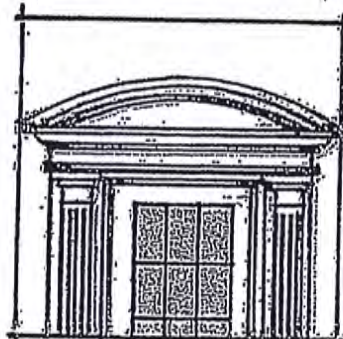
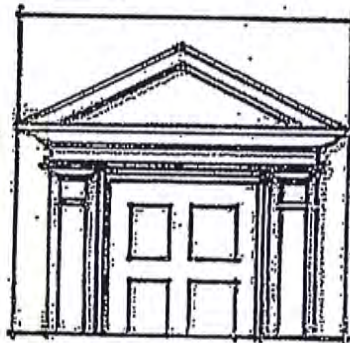
Gooseneck Lighting



*Wood, Stone or Brick
Arches, Keystones
Divided Lights*



*Columns, Properly
Proportioned Shutters*

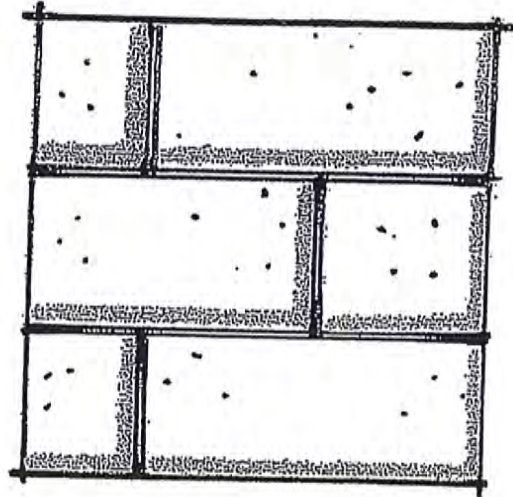


Wood or Stone Door Surrounds: Pediment, Frieze, Pilasters

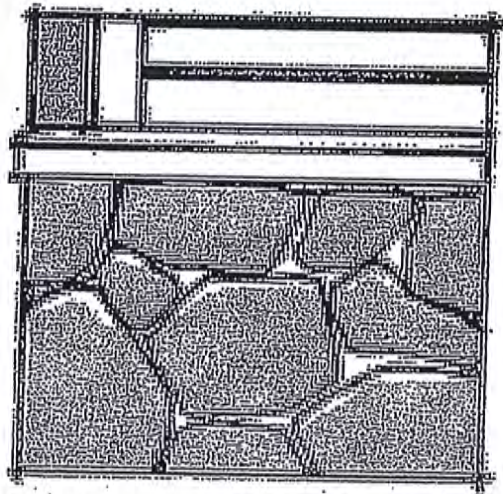
Quality Materials:



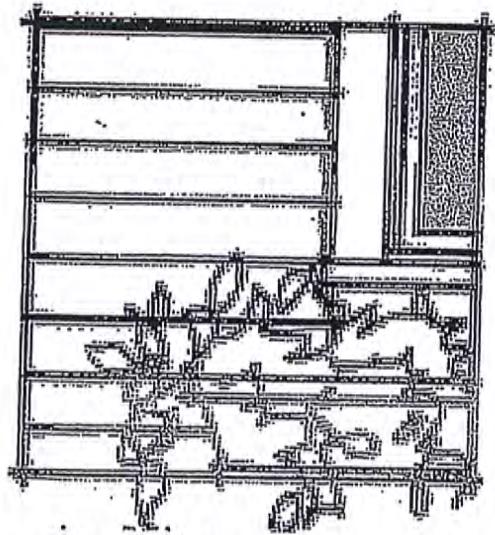
Brick-warm, earthy tones



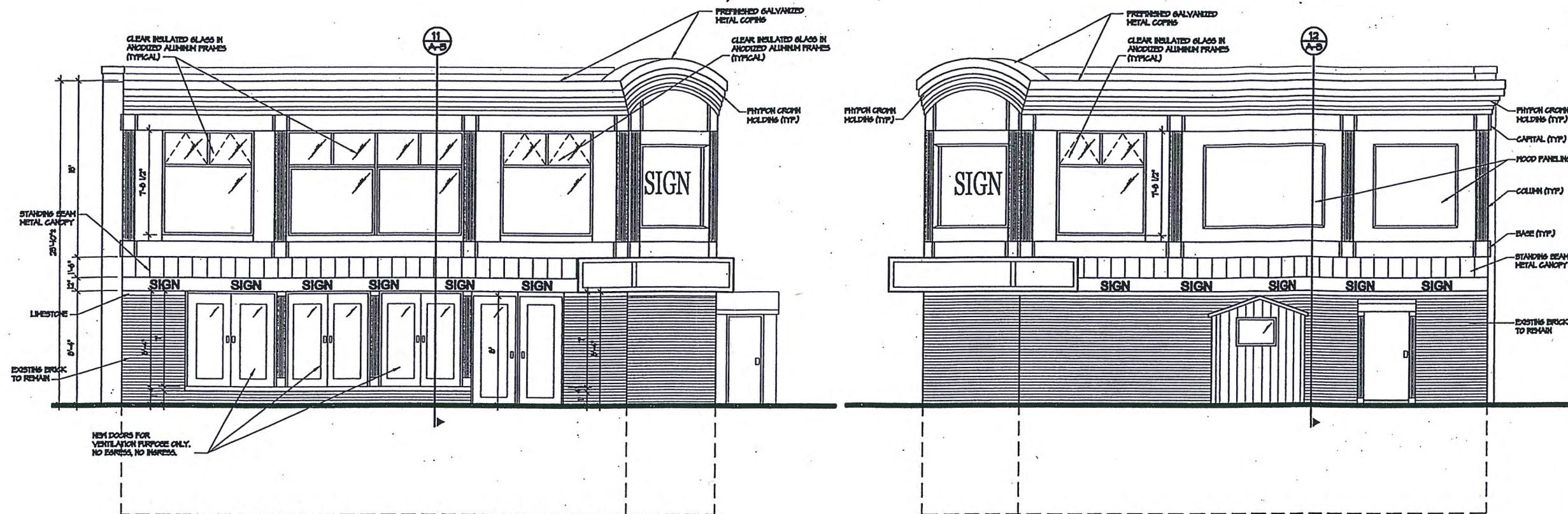
Natural or Cultured Stone



*Natural or Cultured
Stone Accents*



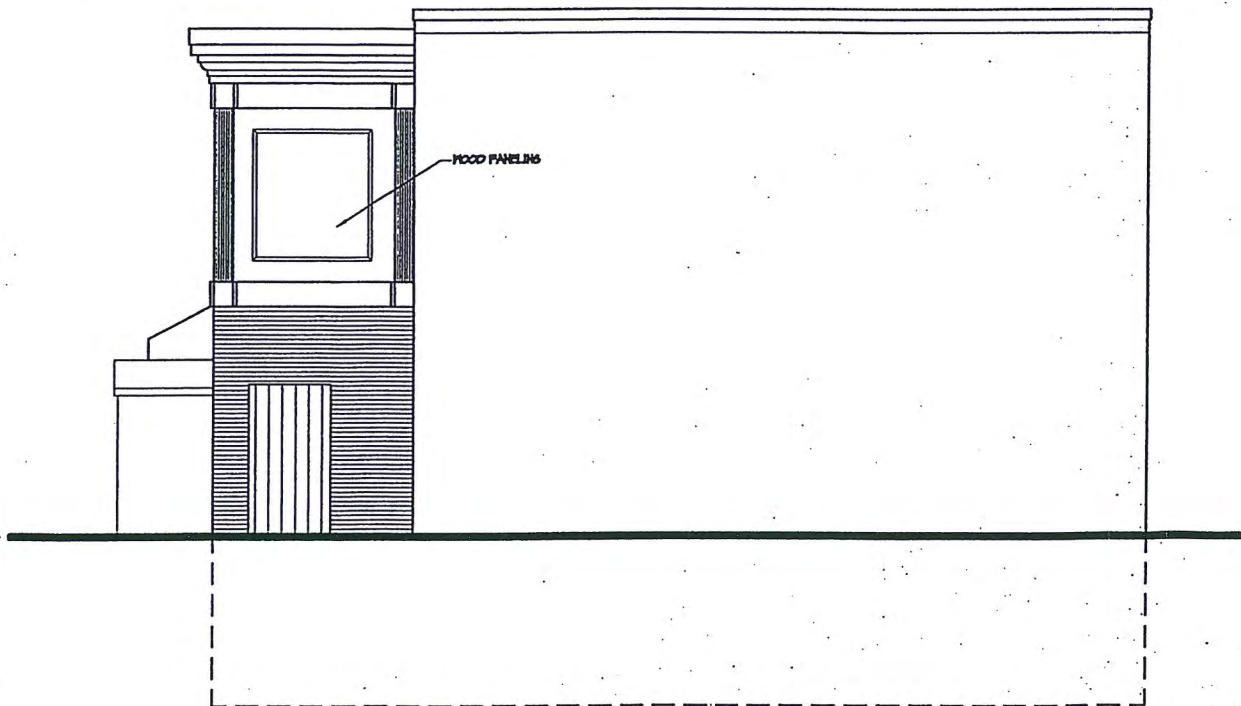
*Wood Trim
Wood or Cementitious
Siding*



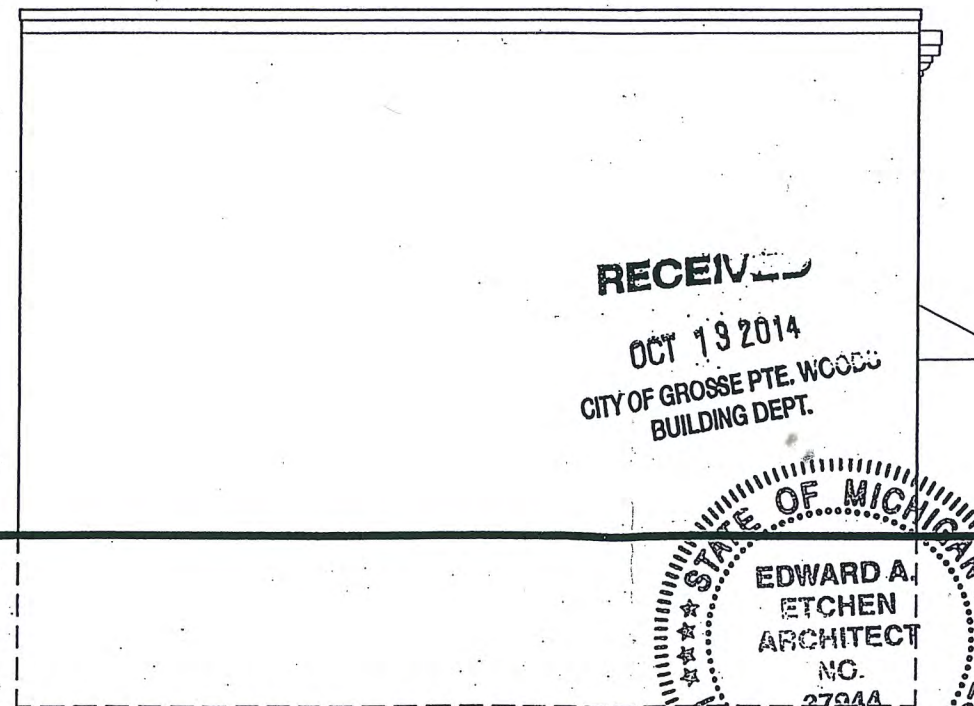
WEST ELEVATION
SCALE 1/4" = 1'-0"

NORTH ELEVATION
SCALE 1/4" = 1'-0"

NOTES
REVISE SECOND FLOOR WINDOW OPENING PER WINDOW OPENING PLAN ON SHEET A-3



EAST ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

RECEIVED
OCT 19 2014
CITY OF GROSSE PTE. WOODS
BUILDING DEPT.

STATE OF MICHIGAN
EDWARD A. ETCHEN
ARCHITECT
NO. 27944
LICENSED ARCHITECT
OCT 11 2014



www.etchengumma.com
31000 Northwestern Hwy. Suite L-100
Farmington Hills, MI 48334
(248) 865-5555 Fax (248) 865-5015

Project:

Churchill's
Cigar Bar

18271 Mack Avenue
Grosse Pointe Woods, MI 48238

Designed E. A. Etchen, Architect
Drawn L. Akroni
Approved E. A. Etchen, Architect
Scale AS NOTED

Notes
This sheet includes details no. 1 thru 5

All drawings and written material appearing herein constitute original and unpublished work of Etchen Gumma Limited and may not be duplicated, used or disclosed without the written consent of Etchen Gumma Limited.

Do not scale drawings. Use plan dimensions only. If not shown, verify correct dimensions with Etchen Gumma Limited. Contractor shall check and verify all dimensions and conditions at job site.

Issued
Bids & Permits 01/08/14
Owner's Review 01/07/14
Bids & Permits 02/11/14

Sheet Title and Number

Proposed Elevations
A-1



CITY OF GROSSE POINTE WOODS
 Building Department
 20025 Mack Plaza, Grosse Pointe Woods, MI 48236
 (313) 343-2426

BUILDING PERMIT APPLICATION
ZONING COMPLIANCE AND PLAN REVIEW
COMMERCIAL AND RESIDENTIAL

ZONING COMPLIANCE INCLUDES:

*Drives - Fences - Accessory Structures/Sheds (less than 200 sq ft) - Awnings - Garage Floors
 Patios (non-elevated) - Play Structures*

Property Owner Name: 20599 Mack LLC Date: 5-28-15
 Address: c/o Virginia S. Jeffrey, 1920 Lennon Street e-mail: _____
 Work#: _____ Home/Cell #: 313-884-1862

Contractor/Applicant Name: Dickerson Development, Inc c/o John Dickerson
 Telephone # 214-691-5300 Fax # 214-691-8899 Mobile/Cell # 214-837-1300
 Contractor Address: 8333 Douglas Avenue, Suite #1300, Dallas, TX 75225
 MI Builder's License #: N/A MI Driver's License #: N/A
 e-mail address: jfd@hankdickerson.com

SPECIFY NATURE OF PROPOSED WORK:

Building / Site Plan Approval
Scope: Demolition of Building and Pavement, Install utilities, pavement, new building, and landscape

Value of Construction \$ Approximately \$750,000

Section 23a of State Construction Code Act of 1972, No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of the State relating to persons who are to perform work on a residential building or a residential structure. Violations of Section 23a are subject to civil fines.

Applicant Signature: *John Dickerson* Dickerson Development, Inc - President

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

FOR OFFICE USE ONLY

Approved: _____ Denied: _____ Zoning Board of Approval Required # _____
(\$250)

Inspector: _____ Date: _____



DICKERSON DEVELOPMENT, INC

June 12, 2015

Mr. Gene Tutag
Members of the Grosse Pointe Woods Planning Commission
City of Grosse Pointe Woods
20025 Mack Plaza Drive
Grosse Pointe Woods, MI 48236-2397

RE: MedPost Urgent Care Site Plan Submittal
20599 Mack Avenue
Grosse Pointe Woods, MI

Dear Mr. Tutag and Members of the Planning Commission:

We greatly appreciate the opportunity to present our site plan to the Commission on Thursday, June 25, 2015, and want to provide additional detail about our proposed development.

Overview:

National Urgent Care Holdings, Inc. d/b/a MedPost Urgent Care, a wholly-owned subsidiary of Tenet Healthcare, the parent company of Detroit Medical Center (“DMC”) and Children’s Hospital of Michigan (“CHM”), has engaged Dickerson Development to design, develop and construct a new retail building on Mack Avenue so that it can provide urgent care services to the Grosse Pointe Woods community. From this retail center, MedPost, in affiliation with DMC and CHM, will provide typical adult and pediatric urgent care services, including the treatment of cuts, bruises, sprains and strains, minor lacerations, allergies, asthma, broken bones, burns, cough, cold and influenza, earaches and headaches, foreign body removal, on-the-job injuries, pneumonia, school and sports physicals, sore throat, urinary tract infections, x-ray imaging and other minor injuries. The facility will not accept inbound ambulance traffic. Typical operating hours are Monday thru Friday, 8AM to 8PM (12 hours), Saturday and Sunday, 10AM – 6PM (8 hours).

The owner of the proposed project will be a single purpose entity of which John Dickerson, of Dallas, Texas, is the controlling partner.

The development team will consist of the following:

Developer: Dickerson Development, Inc., Dallas, TX
Civil/Survey: Tim Germain and Brad Brickel, Nowak and Fraus Engineers, Pontiac, MI
Architect: Ernie Glotta, Renee-Lynn-Glotta, Dallas, TX
GC: Michigan-based firm, TBD

Development Plan:

Dickerson Development is proposing to demolish and remove the existing structures and construct a new brick/masonry one story building to MedPost's specifications. MedPost, in affiliation with DMC and CHM, will operate in the to-be-built facility to provide urgent care services to the local community.

The building will be located on the southern-end of the property facing Van Antwerp Avenue and southbound traffic. Dickerson Development is proposing to close and eliminate the southern or third drive entry on Mack Avenue and construct two (2) openings from the public alley. The four foot brick fence along the alleyway would remain for screening; however, it would be stepped down at the proposed entrances to allow better vehicular site visibility. Access to the alley will be critical to enable northbound traffic to cross Mack Avenue at Lennon Avenue and conveniently access the proposed building. Per our plan, additional screening is offered to prevent headlights from disturbing the home at the northern alley entry. Our site plan proposes thirty-one (31) parks, which will exceed the minimum parks required by code.

As a developer with 23 years of experience, we know the importance of preserving the architectural integrity of the city and working with the local community and citizens to develop appropriate structures. Our development plan adheres to this belief and we intend to preserve and enhance the streetscape of Mack Avenue. The brick and stone building will be classic in appearance, provide roof screening for all HVAC apparatus, and feature colonial light standards, globes and decorative bollards. Our landscape plan protects existing trees along Mack Avenue and adds greenspace and an ornamental living screen to break up the building line. We propose adding a public bench and pavers along the walkway in the Mack Avenue right-of-way for pedestrian enjoyment. The bench will be dedicated to the Scully-Jeffrey family with an inscription.

This project will provide a building and service that we believe will enhance the neighborhood and the City of Grosse Pointe Woods, and one the community will be proud of for years to come.

We look forward to meeting with you on June 25th.

Sincerely,



John Dickerson
Dickerson Development, Inc.

Project: Urgent Care Facility
 Address: 20599 Mack Avenue

Major

Minor

SITE PLAN REVIEW MEETING CHECKLIST

| INFORMATION | REQ'D | REC'D | COMMENTS |
|--|-------|-------|---|
| SEAL of Registered Architect or Professional Engineer | X | X | |
| LEGAL DESCRIPTION, Address & Zoning Information | X | X | |
| TITLE BLOCK (Applicant's name, project name, preparer's name, drawing scale and date of original drawing, and any revisions) | X | X | |
| SCALE: Drawn to a minimum of: 1" = 10' sites < 5 acres, 1" = 100' sites > 5 acres Provide a General Location Map at a scale of: 4" = 1 mile, giving the site location. | X | X | |
| EXISTING & PROPOSED TOPOGRAPHY drawn to at least 2' contour intervals shall be shown for sites of 1 acre or more. Topography on the site plan and within 100' of the site shall be included, referenced to a USGS benchmark. | X | X | |
| EXISTING AND PROPOSED VEGETATION: Trees & shrubs shall be used on the site plan where the trees and shrubs exist or where such vegetation will be planted. All such trees and shrubs shall be labeled as to size and whether existing or proposed. | X | X | |
| MATERIAL SAMPLES: List of primary exterior materials (i.e. brick, stone, roofing, paint chips). <i>Bring samples to the Planning Commission Meeting.</i> | X | | Staff has reviewed. Applicant will present at PC Meeting. |

Non-Refundable Application Fee - \$350 ✓

| INFORMATION | REQ'D | REC'D | COMMENTS |
|---|-------|-------|--------------------------|
| ADDITIONAL DIMENSIONAL INFORMATION: The following additional information shall be required (all dimensional) for all site plans: | | | |
| 1) Dimensioned floor plans. | X | X | |
| 2) A survey showing existing lot lines, structures, parking areas and other improvements on the site and within 100 feet of the site. | X | X | |
| 3) Dimensions and centerline of existing and proposed roads and right-of-ways. | X | X | |
| 4) Acceleration, deceleration and passing lanes, where required. | | | |
| 5) Proposed location of access drives and on-site driveways. | X | X | |
| 6) Loading and unloading areas. | N/A | N/A | |
| 7) Location of existing and proposed interior sidewalks and sidewalks in the right-of-way. | X | X | |
| 8) Exterior lighting locations, and light pole detail and specifications. <i>(NOTE: The Building Official or Planning Commission may also require a more detailed lighting plan and/or photometric studies to assure adequate protection of surrounding properties.)</i> | X | X | Will discuss at meeting. |
| 9) All utilities serving the area located on the site. | X | X | |
| 10) Trash receptacle location and method of screening, including information detailing specific material samples that compliment the proposed construction. | N/A | N/A | |
| 11) Transformer pad locations, mechanical equipment location, and method of screening. | X | X | |

Non-Refundable Application Fee - \$350

| | | | |
|---|-----|-----|--------------------------|
| 12) Location of front, side and rear setbacks, height restriction and yard dimensions. | X | X | |
| 13) Dimensioned parking spaces and parking coverage, preliminary drainage plan, drives and method of paving, and cross sections and details of all curbs and ramps. | X | X | |
| 14) Location of lawns and landmark trees, hardscape and landscape areas, including specific plant material proposed. (A landmark tree is any tree that has a trunk over 12" in diameter as measured from 4.5' from the average ground level.) | X | X | |
| 15) Greenbelt, wall or berm locations and cross sections. | | | |
| 16) All existing and proposed easements. | X | X | |
| 17) Designation of fire lanes and fire hydrant locations. | X | X | |
| 18) Building elevations including location, height and outside dimensions of all proposed buildings and structures, including color renderings. | X | | Will discuss at meeting. |
| 19) Location, size, height and lighting of all proposed signs. | X | X | |
| 20) Swimming pool fencing details, including height and type of fence, if applicable. | N/A | N/A | |
| N/A | N/A | N/A | |

Non-Refundable Application Fee - \$350

CITY OF GROSSE POINTE WOODS

BUILDING DEPARTMENT

MEMORANDUM

TO: Planning Commission
FROM: Gene Tutag, Building Official *GT*
DATE: June 15, 2015
SUBJECT: Urgent Care Facility, 20599 Mack Avenue
Review Proposed Site Plan per Section 50-449

Project Description

Dickerson Development Inc. is proposing to construct a 4,651 sq.ft. medical clinic at 20599 Mack Avenue. The proposed facility will be located on the west side of Mack Avenue between Lennon and Van Antwerp. The vacant bank building and drive-thru teller currently on the site will be demolished. An existing masonry screening wall will remain on the site.

The property has previously been used as a bank branch. Prior to being a bank, the property was used as a fast food restaurant (Jack in The Box) in the 1970's. A 1965 Sanborn map shows the property as vacant and in 1949 the property had two homes on it according to aerial photographs of that year.

A pre-application meeting was held with the owner along with their engineer and architect as required by Section 50-36(a). Our traffic safety officer also attended the meeting.

In accordance with Section 50-36 the attached plan's sheets SP1, SP2, SP3 and L1 prepared by Nowack and Fraus and sheets A2.01 and A3.01 prepared by Renee Lynn and Glotta, are being submitted for your review.

The proposed use of the property is a compatible use with the adjacent land uses and existing Zoning Classifications as follows:

| | Land Uses | Zoning Classification |
|-------|------------------|--------------------------------|
| North | Retail | C – Commercial |
| South | Retail/Office | C – Commercial |
| East | Public School | CF Community Facility |
| West | Residential | R-1E Single Family Residential |

Section 50-448 Permits medical clinics in the RO-1 zoning district. The proposed use is consistent with the purpose of the District as described in Section 50-447. The proposed use of the property is also in compliance with the City’s Master Plan.

| | ZONE | PROJECT |
|--------------------|--------------|----------------------------|
| Lot Coverage | 40% | 20.3% |
| Front Setback | Not Required | 5.9’ |
| Rear Setback | Not Required | 13.8’ |
| North Setback | Not Required | 181.6’ |
| South Setback | Not Required | 5.6’ |
| Off Street Parking | 23 Spaces | 31 including 2 B.F. spaces |
| Building Height | 28’ Maximum | 25’ at highest point |

Site Landscaping and Design

Landscaping plans included in the review detail the proposed landscape improvements to the site, which includes a brick paver sitting area on Mack Ave that includes a bench and trash receptacle in keeping with the proposed city standard.

Proposed parking lot lighting is the City Standard Colonial fixture. The existing parking lot currently has contemporary style lights.(photos attached) The City standard colonial lights may look out of place on the site with the proposed design of the building, past experience has indicated that our approved lights are difficult to shield so light does not spill onto adjacent residential property, in this instance the homes to the west. A discussion with the developer regarding the lighting of the site and a possible alternative style of light fixtures should be part of the review.

Rooftop mechanical equipment will be located behind a parapet and will not be visible from the ground.

Because of the rules and regulations regarding waste generated by the health care industry trash will be stored in the building and disposed of in accordance with applicable regulations.

Public Safety Review

Traffic Safety and Fire have reviewed the plans for ingress and egress, circulation on site and safe access of emergency vehicles. Their approvals are indicated in the attached memo from Public Safety Director Bruce Smith. Dan Koerber of Traffic Safety will be attending the meeting to address any comments or questions.

Design Guidelines

The material samples and colors that were reviewed by staff at the preliminary meeting are found in the city's guidelines and are compliant with the code and will be presented at the meeting. The building is a single story structure with masonry on all four sides finished with a mix of textures that includes brick, cast stone, limestone, cement siding and medium bronze door, window frames and trim. The building's design, architectural appeal, finished exterior or functional design fits in with that of existing buildings or structures already constructed, and does not result in a substantial depreciation of property or aesthetic values of the immediate and adjacent vicinity, the building or structure front is not an extreme variance with the provisions of Section 50-450.

The proposed development is compliant with Section 50-41 Standards for Approval and will fit in with existing development and uses in the surrounding area. Approval of the site plan is recommended.



CITY OF GROSSE POINTE WOODS DEPARTMENT OF PUBLIC SAFETY

Date: June 08, 2015

To: Gene Tutag, Building Official, Building Department

From: Bruce J. Smith, Director

Subject: Review of Site Plan – Urgent Care Facility, 20599 Mack Avenue

In response to your request for a review of the proposed urgent care facility to be located at 20599 Mack Avenue (former site of Bank of America), both our Fire Inspector, Joseph Provost, and our Traffic Safety Coordinator, Detective Daniel Koerber, have reviewed the site. As neither one has any objections, the Public Safety Department is giving our approval for the request.

We are returning the plans per your request.

A handwritten signature in blue ink, appearing to read "Bruce Smith", is written below the text.



CITY OF GROSSE POINTE WOODS
DEPARTMENT OF PUBLIC SAFETY

Bruce Smith, Director

20025 Mack Plaza

Grosse Pointe Woods, MI 48236-2397



TO: Director Bruce Smith
FROM: PSO Joseph E. Provost Jr., Fire Inspector
DATE: June 07, 2015
SUBJECT: Urgent Care Facility, 20599 Mack Avenue Site Plan Review

I have reviewed the Site Plan for the Urgent Care Facility project. The proposed building location on the site will give adequate access with regard to the use of Fire Apparatus. The locations of existing fire hydrants at the street corners, Mack/Van Antwerp to the north and Mack/Lennon to the south, are adequate for this site plan. A Knox Box will be required near the main entrance of the building. I will be working with the Developer to determine a final location prior to a final approval of the construction plans. I believe that all of the fire safety concerns have been addressed.

It is my recommendation that this site plan be approved.


Respectfully,

A handwritten signature in black ink, appearing to read "Joseph E. Provost Jr." with a stylized flourish at the end.

PSO Joseph E. Provost Jr., Fire Inspector

MEMO 15 - 23

TO: Gene Tutag, Building Official

FROM: Joseph J Ahee, Director of Public Services 

DATE: June 10, 2015

SUBJECT: Plan Review – Urgent Care Facility, 20599 Mack Avenue

I have reviewed the site plan for the proposed Urgent Care Facility and have the following comments:

- There is an existing 1.5" water service which taps the 20" water main in the median of Mack Avenue available to service this site. If the existing water service is unable to be reused, a new service shall tap the water main on Lennon or Van Antwerp.
- There is a 10" combined sewer on-site which outlets to a 48" sewer in the alley west of the subject parcel which is available to service this site. No additional flow shall be directed to this sewer as a result of the proposed improvement.
- Appropriate soil erosion measures will be utilized during construction.
- A permit is required from Wayne County for any work in the Mack Avenue right of way.
- All work in the Lennon and Van Antwerp rights of way must have prior approval by the Director of Public Services.
- Upon site plan approval, 3 sets of engineering plans shall be submitted along with an engineering review fee of \$500 for review by our consulting engineering firm Anderson, Eckstein and Westrick. No site work shall begin on this project until engineering plans are approved.

Other than comments above, I have no objections to the proposed site plan.

If you have any questions regarding this matter please contact me.

dm

c.c. Lisa Hathaway
O/F



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

June 11, 2015

Emailed: June 11, 2015

City of Grosse Pointe Woods
Building Department
20025 Mack Plaza
Grosse Pointe Woods, MI 48236

Attn: Mr. Gene Tutag
Building Official

Re: **Urgent Care Facility – 20599 Mack Avenue**
City of Grosse Pointe Woods, Michigan

Dear Mr. Tutag:

Please see below for a written response to the review letter from Public Services dated June 10, 2015 for your use.

Please feel free to contact me if there are any questions relative to this matter.

Sincerely,

NOWAK & FRAUS ENGINEERS

Brad W. Brickel, P.E.
Associate

Enclosures

cc: Hank Dickerson & Co., Mr. John Dickerson, (8333 Douglass Ave., Ste. #1300-LB#72, Dallas, TX 75225)
Project File: 1567/2015

NOWAK & FRAUS ENGINEERS

Site Plan Review Response Letter
Urgent Care Facility

Dated: June 11, 2015
Page 1

General Comments

- 1. There is an existing 1.5" water service which taps the 20" water main in the median of Mack Avenue available to service this site. If the existing water service is unable to be reused, a new service shall tap the water main on Lennon or Van Antwerp.

The intention is to reuse the 1.5" water servicing the site. If not usable we will tap the existing man on Lennon or Van Antwerp.

- 2. There is a 10" combined sewer on-site which outlets to a 48" sewer in the alley west of the subject parcel which is available to service this site. No additional flow shall be directed to this sewer as a result of the proposed improvement.

No additional flow will be added from the site. The proposed site has additional green space as compared to the exiting site. Therefore, the total flow will be reduced.

- 3. A soil erosion permit is required from Wayne County.

The site is less than one acre thus not requiring a permit from Wayne County. However, the soil erosion control measures still must adhere by the requirements and will be provided on the Engineering Construction plans.

- 4. A right of way permit is required from the Wayne County for any work in the Mack Avenue right of way.

A permit will be submitted for any work within the Mack Avenue right of way to Wayne County.

- 5. A right of way permit is required from the City of Grosse Pointe Woods for any work in the Lennon and Van Antwerp right of way.

A permit will be submitted for any work within the City right of way.

- 6. Upon site plan approval, 3 sets of engineering plans shall be submitted along with an engineering review fee of \$500 for review by our consulting engineering firm Anderson, Eckstein and Westrick. No site work shall begin on this project until engineering plans are approved.

Once site plan approval is achieved, the above items will be provided to the City.

NOWAK & FRAUS ENGINEERS



⏪ Tour Guide

1399

© 2015 Google

GoogleEarth_Placemark

42°26'34.12" N 82°54'31.23" W elev 588 ft eye alt 1091 ft

Google Earth

N

North



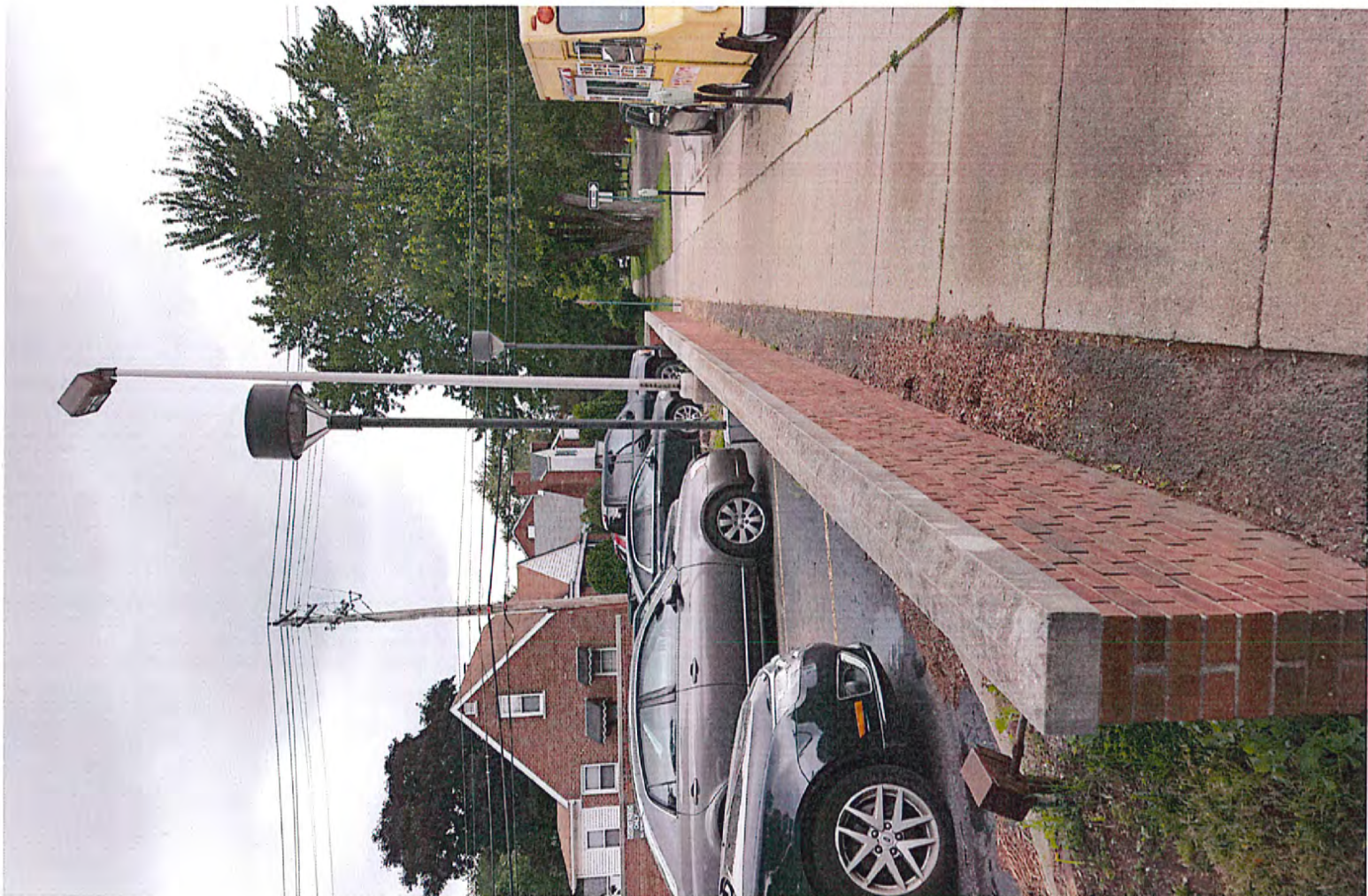
North



North



West



South east



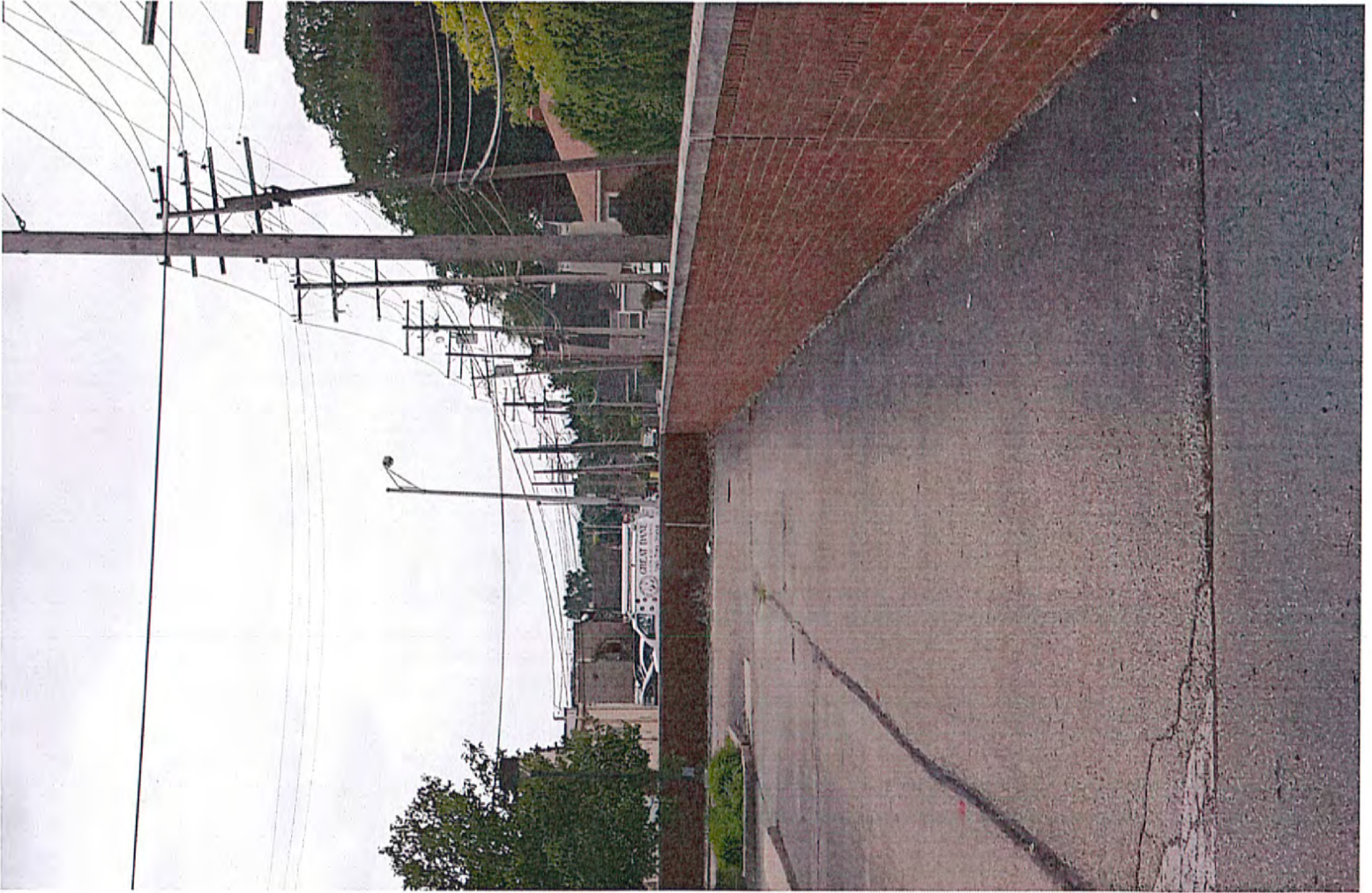
South



South



South



South
(Alley)



South east



East



East



Foot



Southwest



Southwest



West



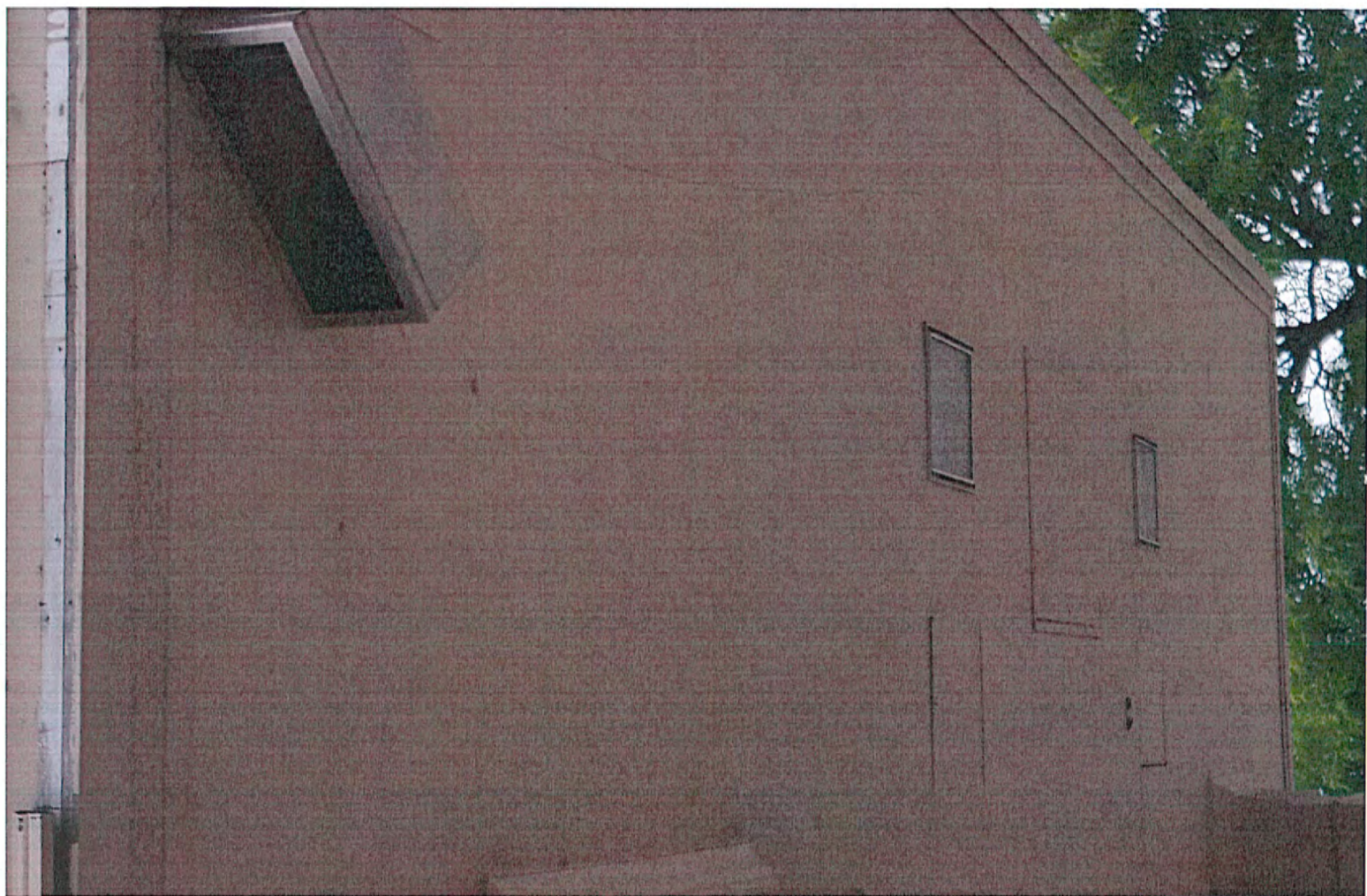
Lighting



Lighting



Lighting



Lighting

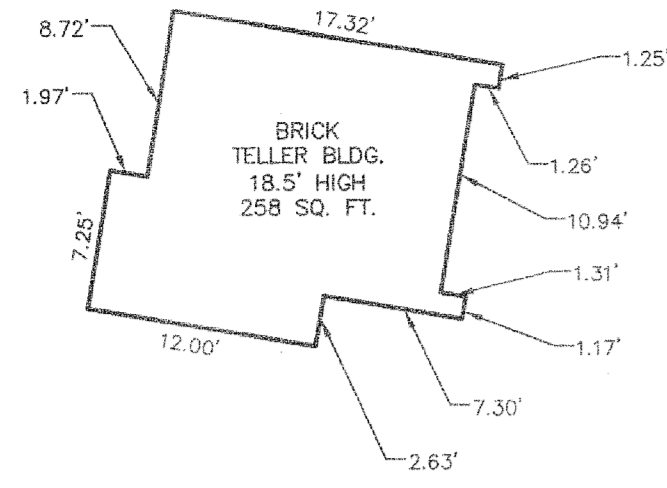


Lighting

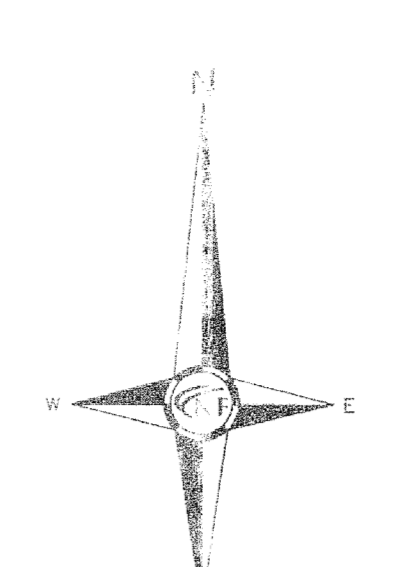
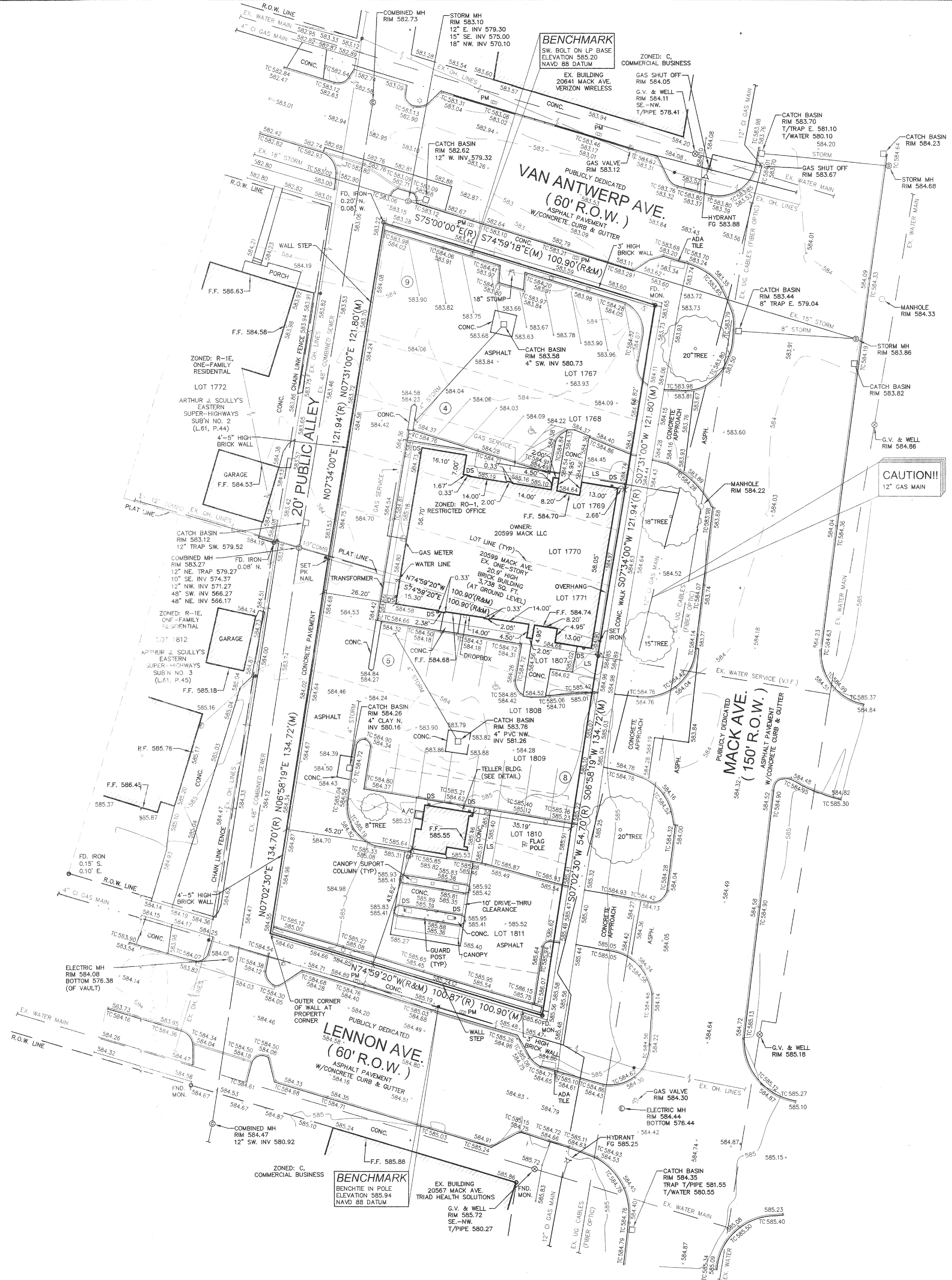


Lighting

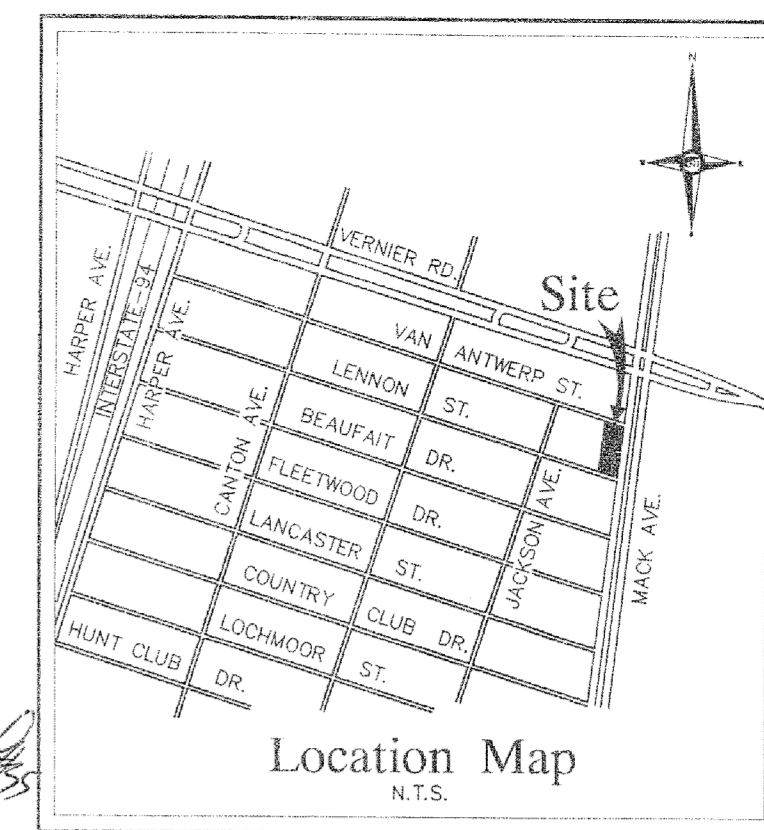




TELLER BUILDING DETAIL
1" = 10'



CITY OF GROSSE POINTE WOODS
DEPARTMENT OF PUBLIC SAFETY
FIRE INSPECTOR
APPROVED: *[Signature]*
DATE: 6-2-15



CERTIFICATE OF SURVEY
CERTIFIED TO:
-DICKERSON DEVELOPMENT, INC.
-ESTATE OF ARTHUR J. SCULLY, ESTATE OF FREDERICK G. SCULLY
AND 20599 MACK LLC, A MICHIGAN LIMITED LIABILITY COMPANY
AS THEIR INTEREST MAY APPEAR
-TRULITY NATIONAL TITLE INSURANCE COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 17, 18, 19 AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 28, 2015.
KEVIN NAVAROLI, P.S. NO. 53503 DATE: 5-14-2015

SHEET INDEX

| | |
|-------|--|
| SP1 | ALTA/ACSM Land Title / Topographic / Tree Survey |
| SP2 | General Site Plan |
| SP3 | Preliminary Grading / Utility Plan |
| L1 | Landscape Plan |
| A2.01 | Floor Plan |
| A3.01 | Exterior Elevations |

SITE DATA
SITE AREA: 25,644.78 SQ. FEET (0.589 ACRES)
ZONED: RO-1, RESTRICTED OFFICE DISTRICT
PARKING SPACES:
24 REGULAR PARKING SPACES (10'
2 BARRIER-FREE PARKING SPACES
THE ABOVE SETBACK & HEIGHT REQUIREMENTS WERE OBTAINED FROM THE CITY OF GROSSE POINTE WOODS ZONING ORDINANCE.
NOTE: A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF GROSSE POINTE WOODS TO INSURE CONFORMITY AS WELL AS MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK REQUIREMENTS.

LEGAL DESCRIPTION - PER TITLE COMMITMENT
LAND SITUATED IN THE CITY OF GROSSE POINTE WOODS, WAYNE COUNTY, MICHIGAN DESCRIBED AS FOLLOWS:
LOTS 1767 THROUGH 1771, BOTH INCLUSIVE, ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 2, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 61 OF PLATS, PAGE 44, WAYNE COUNTY RECORDS.
AND
LOTS 1807 THROUGH 1811, BOTH INCLUSIVE, ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 1, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 61 OF PLATS, PAGE 45, WAYNE COUNTY RECORDS.
TAX ID NUMBER: 40-007-01-174-901
ADDRESS: 20599 MACK AVENUE, GROSSE POINTE WOODS, MI 48238

TITLE REPORT NOTES
REFERENCE TRULITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NUMBER: 15-109403, EFFECTIVE DATE: MARCH 4, 2015.
SCHEDULE B - SECTION 2, EXCEPTIONS:
EXCEPTIONS: 1, 2, 3, 4 AND 5 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.
6. COVENANTS, CONDITIONS AND RESTRICTIONS, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAW, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 3267, PAGE 601; LIBER 3149, PAGE 193 AND LIBER 5780, PAGE 173. (AS TO ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 2) [NOT A PLOTTABLE EXCEPTION]
7. COVENANTS, CONDITIONS AND RESTRICTIONS, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAW, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 5383, PAGE 11. (AS TO ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 3) [NOT A PLOTTABLE EXCEPTION]
8. TERMS, CONDITIONS AND PROVISIONS RECITED IN THE ROAD JURISDICTION DETERMINATION RECORDED IN LIBER 11162, PAGE 439. (ABANDONED PORTION OF MACK AVENUE WITHIN SAID DOCUMENT IS NOT ON OR ADJACENT TO SUBJECT PROPERTY)
9. LEASEHOLD INTEREST OF COLONIAL FEDERAL SAVINGS & LOAN ASSOCIATION OF GROSSE POINTE WOODS, MICHIGAN, A UNITED STATES CORPORATION AND THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN THE LEASE BETWEEN FREDERICK G. SCULLY, AS LESSOR AND COLONIAL FEDERAL SAVINGS & LOAN ASSOCIATION OF GROSSE POINTE WOODS, MICHIGAN, A UNITED STATES CORPORATION, AS LESSEE, (AND LEASE BEING DISCLOSED BY THE INSTRUMENT RECORDED IN LIBER 20195, PAGE 911. [NOT A PLOTTABLE EXCEPTION])

ALTA SURVEY NOTES
THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS, EXCEPT AS NOTED.
THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR, EXCEPT AS NOTED.
THERE IS NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
THERE IS NO EVIDENCE OF ANY WETLAND AREAS.
BASIS OF BEARING NOTE
ALL BEARINGS ARE IN RELATION TO THE PREVIOUSLY ESTABLISHED SOUTHERLY LINE OF ARTHUR J. SCULLY'S EASTERN SUPER-HIGHWAYS SUBDIVISION NO. 2, AS RECORDED IN LIBER 61 OF PLATS, PAGE 44, WAYNE COUNTY RECORDS. (S74°59'20"E.)
FLOOD HAZARD NOTE
THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26163C0105E BEARING AN EFFECTIVE DATE OF FEB. 2, 2012.
TOPOGRAPHIC SURVEY NOTES
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

LEGEND

| | |
|------------------|-----------------------------|
| MANHOLE (MH) | EXISTING SANITARY SEWER |
| HYDRANT | EXISTING SANITARY CLEAN OUT |
| MANHOLE | EXISTING WATER MAIN |
| CATCH BASIN (CB) | EXISTING STORM SEWER |
| UTILITY POLE | EX. R.Y. CATCH BASIN |
| GUY WIRE | EXISTING BURIED CABLES |
| LP | OVERHEAD (OH) LINES |
| LP | LIGHT POLE |
| DS | SIGN |
| CONC. | EXISTING GAS MAIN |
| FOUND | DOWNSPOUT |
| GP | CONCRETE |
| R.O.W. | FOUND |
| SPK | GUARD POST |
| TYP | RIGHT-OF-WAY |
| (R) | SET PK NAIL |
| (M) | TYPICAL |
| C/L | RECORD |
| PM | MEASURED |
| A/C | CENTERLINE |
| F.F. | PARKING METER |
| LS | AIR CONDITIONING UNIT |
| | FINISH FLOOR |
| | LANDSCAPE |

RECEIVED
MAY 29 2015
CITY OF GROSSE POINTE WOODS
BUILDING DEPT.

CFE ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

PROJECT
Urgent Care Facility
20599 Mack Avenue
Grosse Pointe Woods, MI

CLIENT
Hank Dickerson & Company
8333 Douglas Avenue,
Suite #1300 - LB #72
Dallas, TX 75225

Contact: John Dickerson
214.691.5300 - Phone
214.691.8499 - Fax

PROJECT LOCATION
Part of Private Claim 156,
City of Grosse Pointe Woods,
Wayne County, Michigan

SHEET
ALTA/ACSM Land Title /
Topographic / Tree Survey



REVISIONS
05-29-15 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
M. Carnaghi
DESIGNED BY:
K. Navaroli
APPROVED BY:
K. Navaroli
DATE:
May 29, 2015

SCALE: 1" = 20'
20 10 0 10 20 30
NFE JOB NO. SHEET NO.
1567 SPI

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX BAGS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE: 85-100; BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5184.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTIONS.

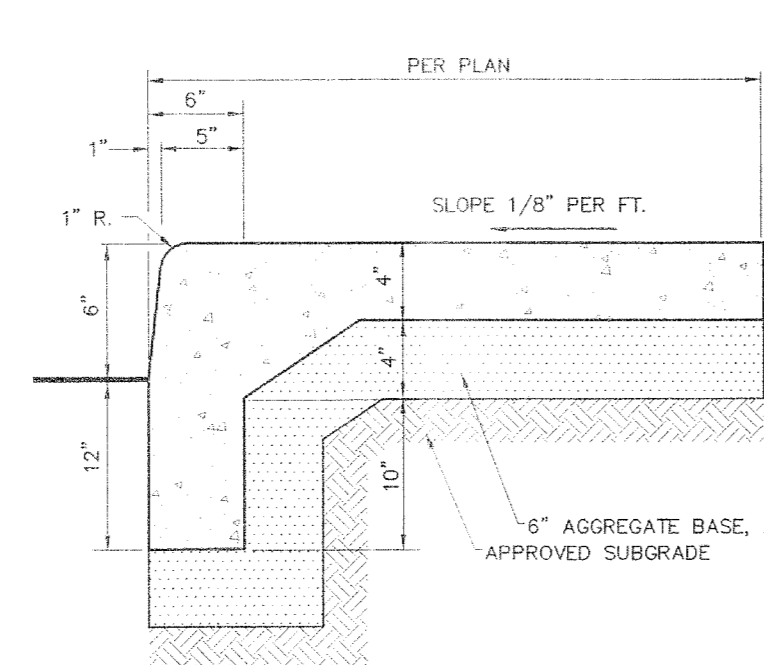
EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

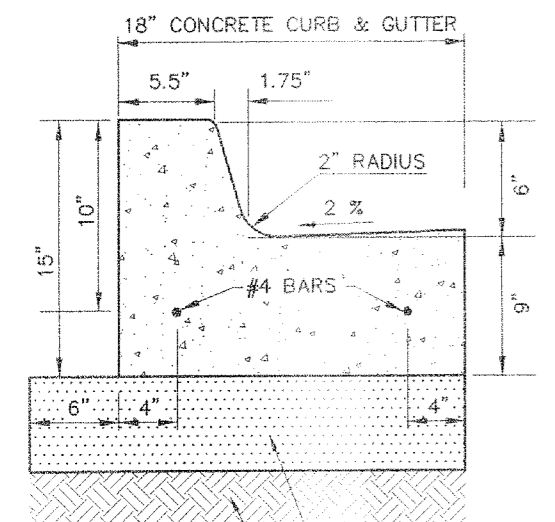
SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

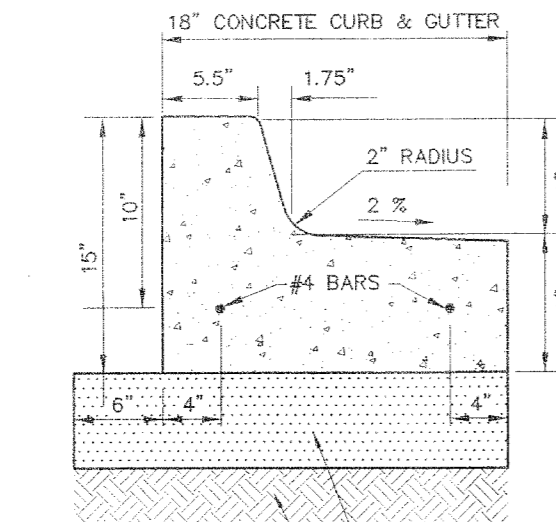
FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.



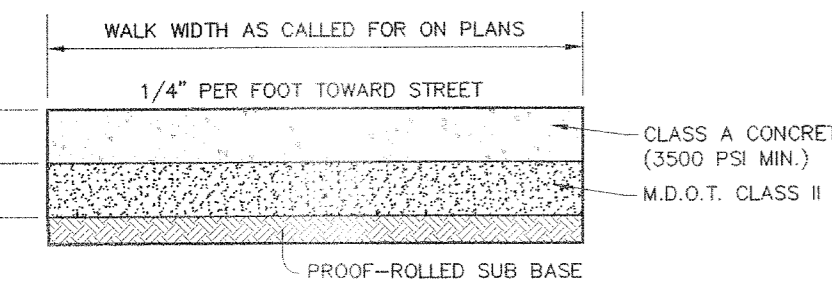
6" MONOLITHIC CURB AND WALK
N.T.S.



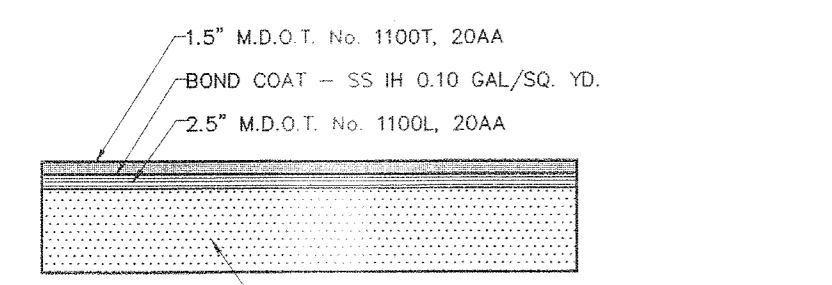
CONCRETE CURB DETAIL 'A'
N.T.S.



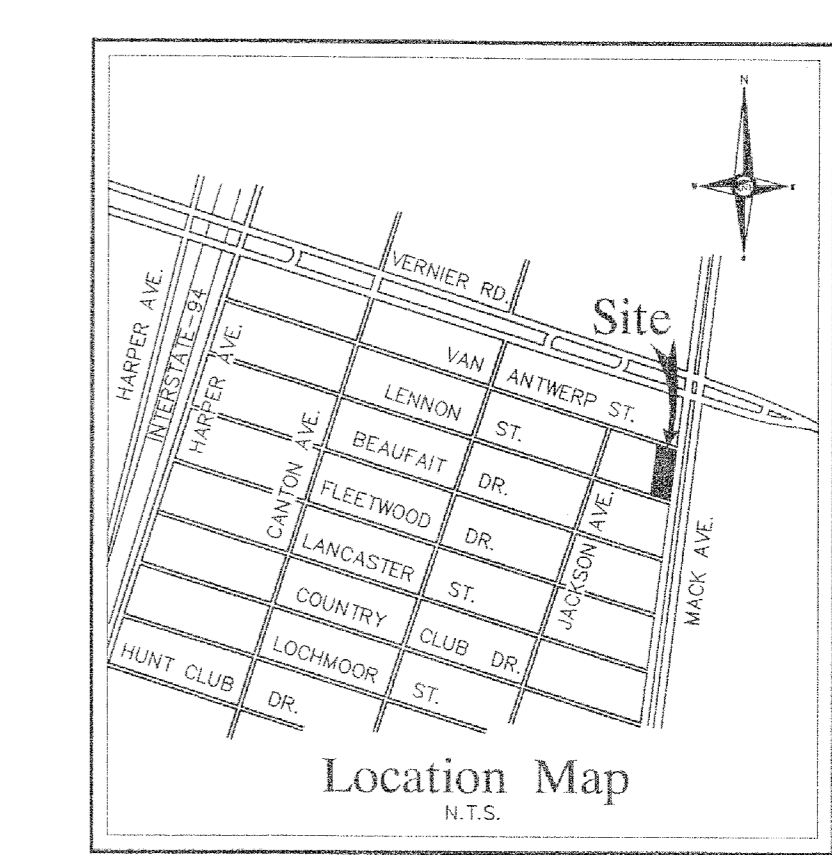
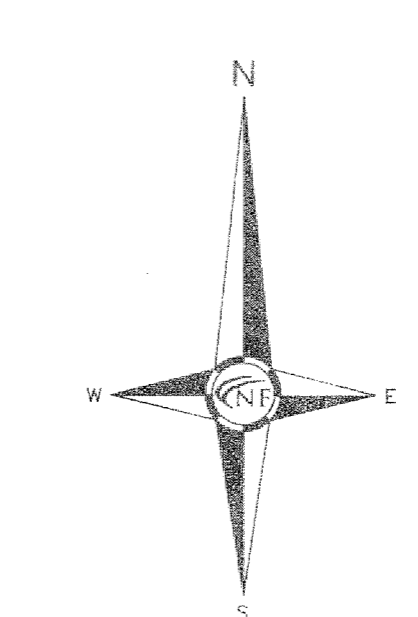
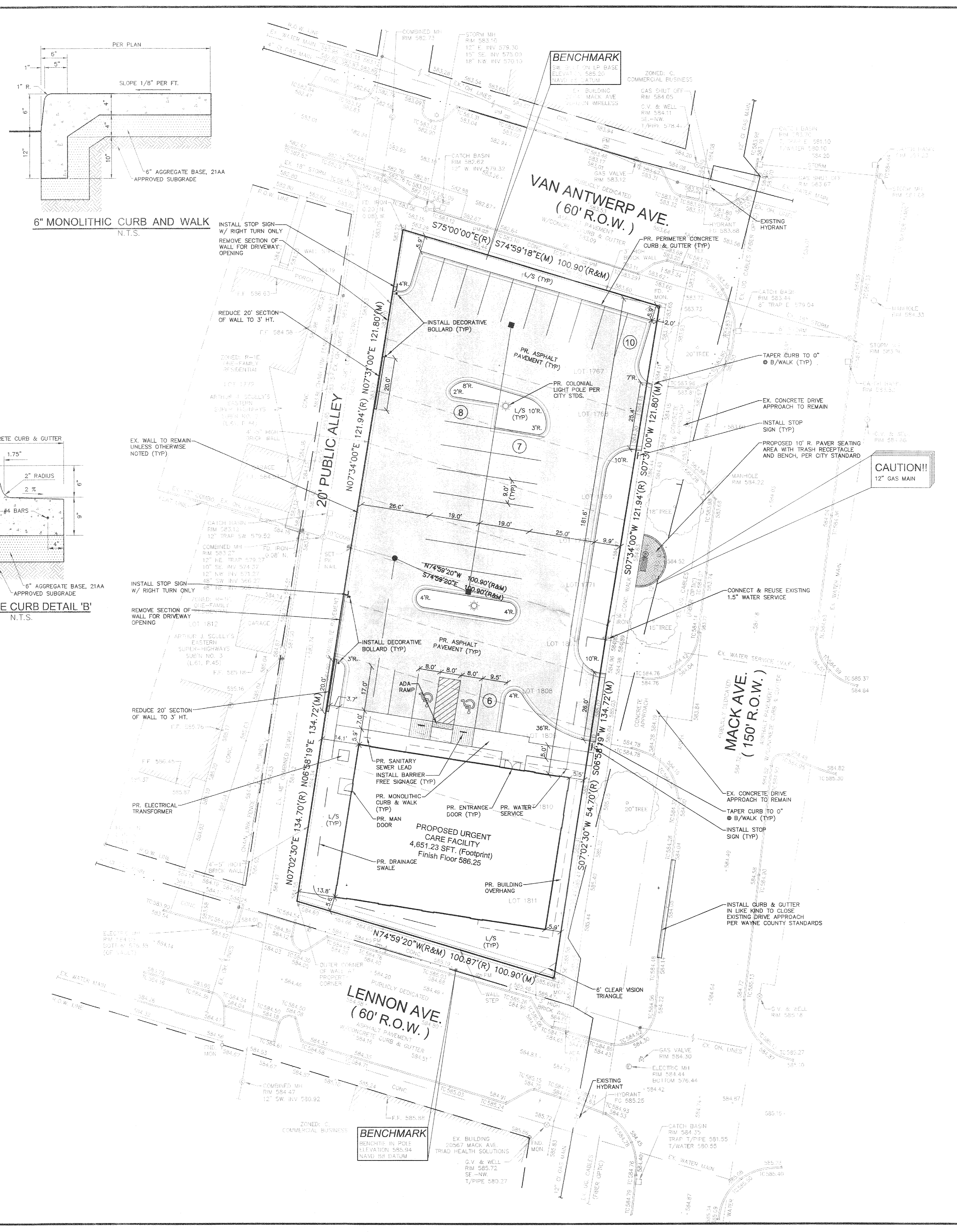
CONCRETE CURB DETAIL 'B'
N.T.S.



CONCRETE SIDEWALK SECTION
N.T.S.



ASPHALT PAVEMENT SECTION
(DRIVE AND PARKING)



SITE DATA

| | |
|---------------------------|--|
| SITE AREA | 25,644.76 SFT. OR 0.589 ACRES |
| GROSS/NET | |
| ZONING | RO-1 (RESTRICTED OFFICE DISTRICT) |
| EXISTING | |
| PARKING | 1 SPACE / 200 SFT. OF BUILDING AREA |
| REQUIRED | 4,651 / 200 |
| TOTAL | 23 |
| PROVIDED | 31 SPACES PROVIDED INCLUDING 2 BARRIER FREE SPACES |
| SITE AREA | 25,644.76 SFT. 100.0% |
| BUILDING FOOTPRINT | 4,651.23 SFT. 20.3% |
| PARKING & DRIVES | 15,789.72 SFT. 61.6% |
| OPEN SPACE | 5,203.81 SFT. 33.1% |
| SETBACK REQUIREMENTS | REQUIRED PROVIDED |
| FRONT | NONE 5.81(S), 5.0(E.) |
| REAR | NONE 181.6(N.), 13.8(W.) |
| BUILDING HT. REQUIREMENTS | REQUIRED PROVIDED |
| 15 MIN. 9 | FRONT ELEVATION 25.0' |

PAVING LEGEND

| | |
|--|----------------------------|
| | PROPOSED CONCRETE PAVEMENT |
| | PROPOSED ASPHALT PAVEMENT |

LEGEND

| | | |
|--|----------------------------|----------------------------|
| | MANHOLE | EXISTING SANITARY SEWER |
| | HYDRANT | GATE VALVE |
| | MANHOLE | SAN. CLEAN OUT |
| | MANHOLE | EXISTING WATERMAIN |
| | MANHOLE | CATCH BASIN |
| | UTILITY POLE | EXISTING STORM SEWER |
| | GUY POLE | EX. R. Y. CATCH BASIN |
| | GUY WIRE | EXISTING BURIED CABLES |
| | EXISTING GAS MAIN | OVERHEAD LINES |
| | EXISTING GAS MAIN | LIGHT POLE |
| | PR. SANITARY SEWER | SIGN |
| | PR. WATER MAIN | PR. TOP OF CURB ELEVATION |
| | PR. STORM SEWER | PR. GUTTER ELEVATION |
| | PR. R. Y. CATCH BASIN | PR. TOP OF WALK ELEVATION |
| | PROPOSED LIGHT POLE | PR. TOP OF PWMT. ELEVATION |
| | PR. TOP OF CURB ELEVATION | FINISH GRADE ELEVATION |
| | PR. GUTTER ELEVATION | |
| | PR. TOP OF WALK ELEVATION | |
| | PR. TOP OF PWMT. ELEVATION | |
| | FINISH GRADE ELEVATION | |

NF ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL

Brad W. Brickel

PROJECT
Urgent Care Facility
20599 Mack Avenue
Grosse Pointe Woods, MI

CLIENT
Hank Dickerson & Company
8333 Douglas Avenue,
Suite #1300 - LB #72
Dallas, TX 75225

Contact: John Dickerson
214.691.5300 - Phone
214.691.8899 - Fax

PROJECT LOCATION
Part of Private Claim 156,
City of Grosse Pointe Woods,
Wayne County, Michigan

SHEET
General Site Plan

REVISIONS
05-29-15 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
R. Johnson

DESIGNED BY:
B. Brickel

APPROVED BY:
B. Brickel

DATE:
May 29, 2015

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
I567 SP2

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE I/A (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX BAGS PER CUBIC YARD; MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100; BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

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ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

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ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

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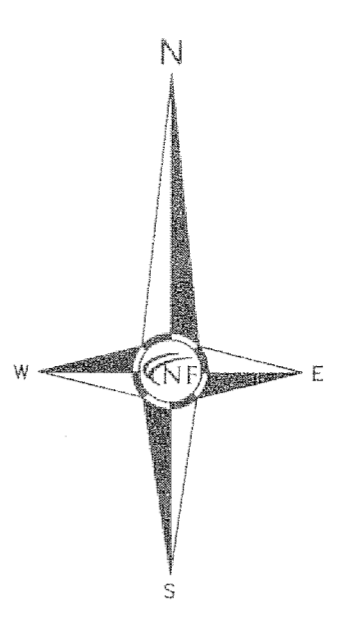
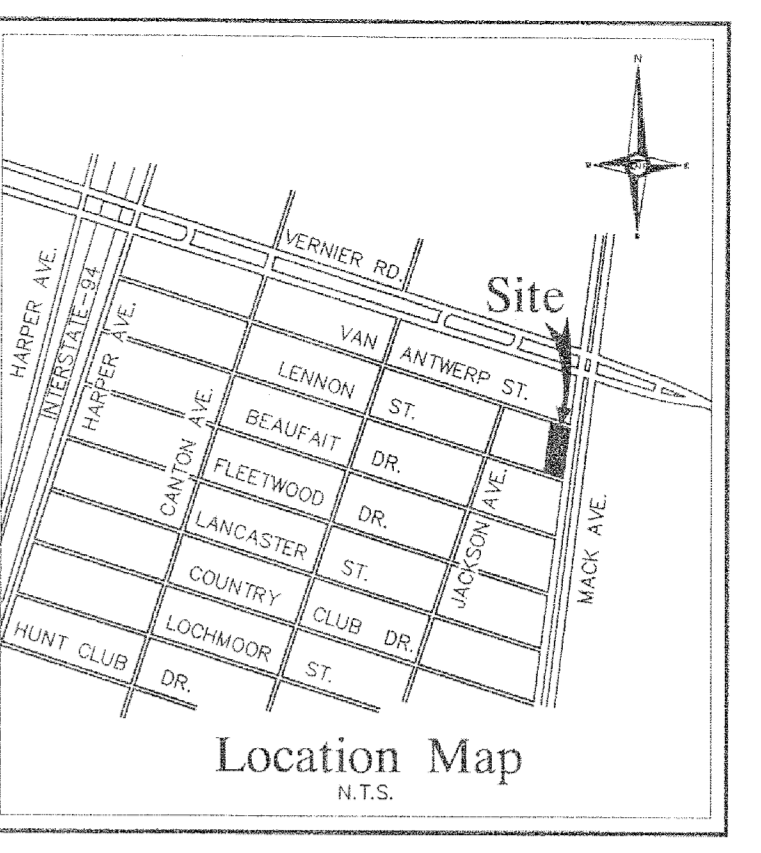
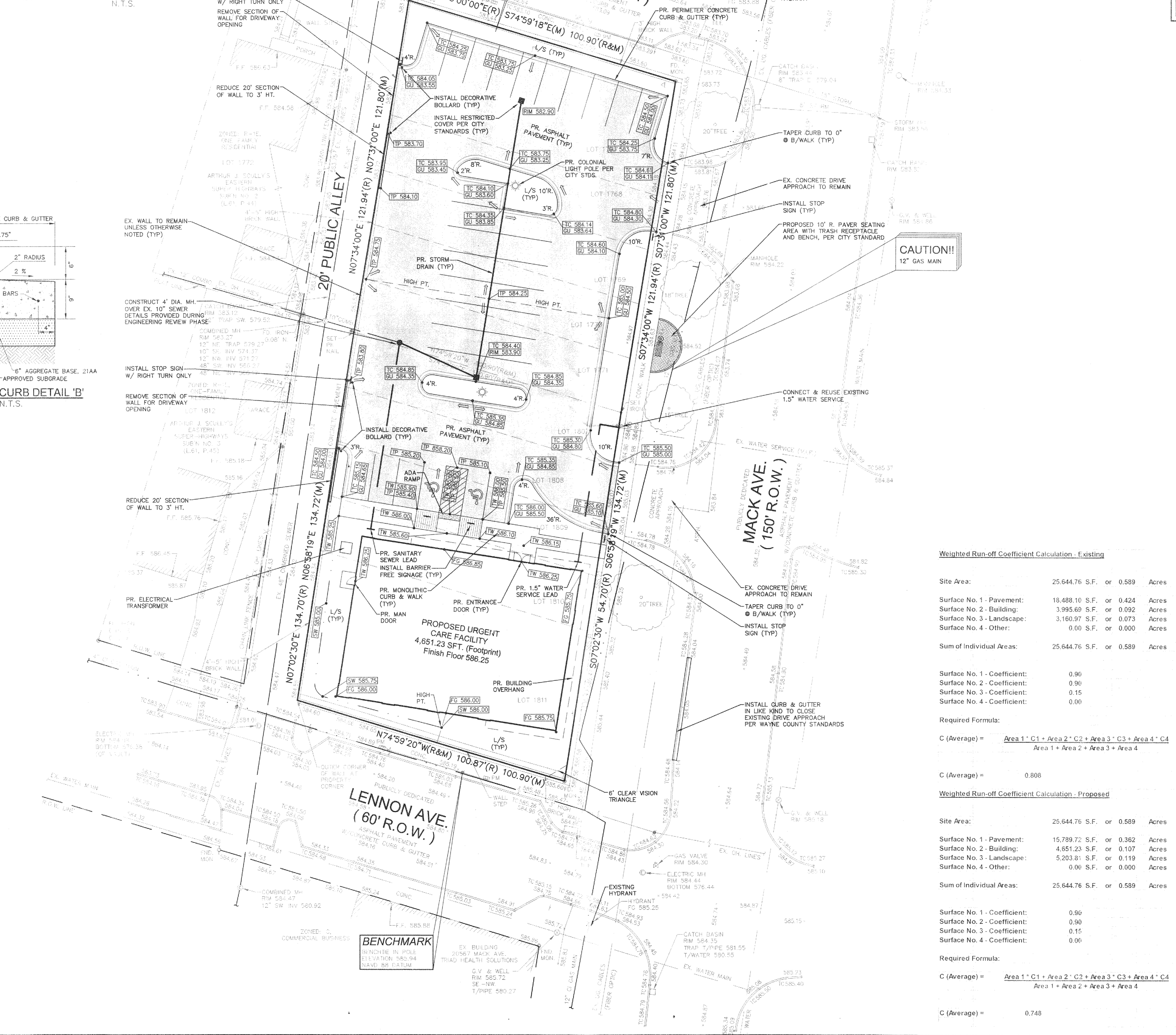
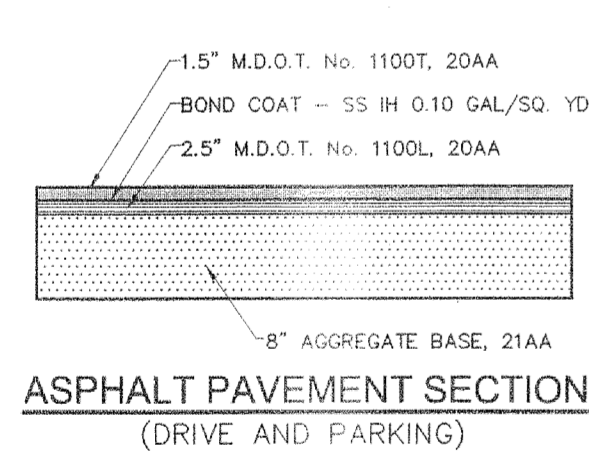
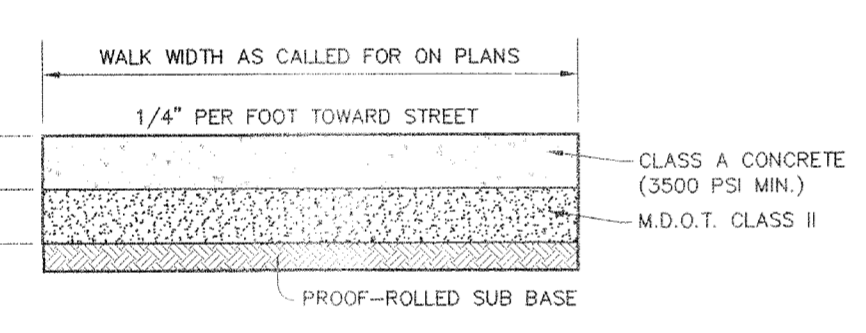
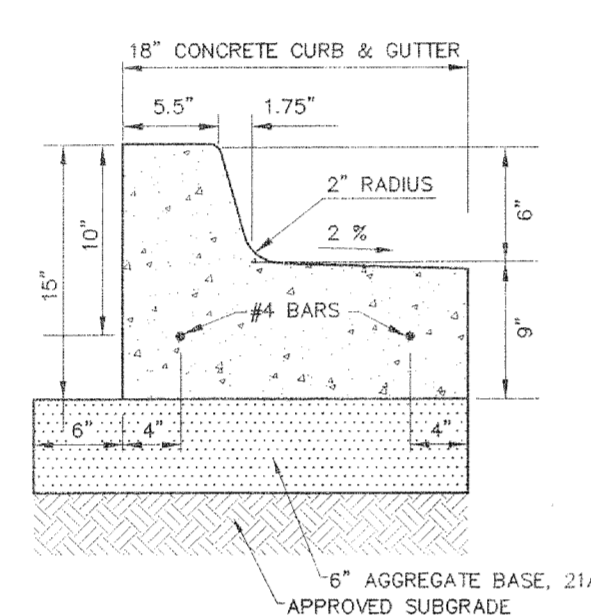
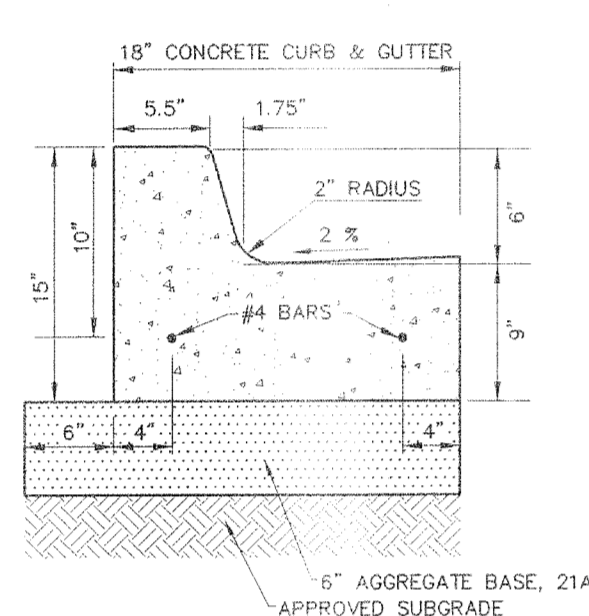
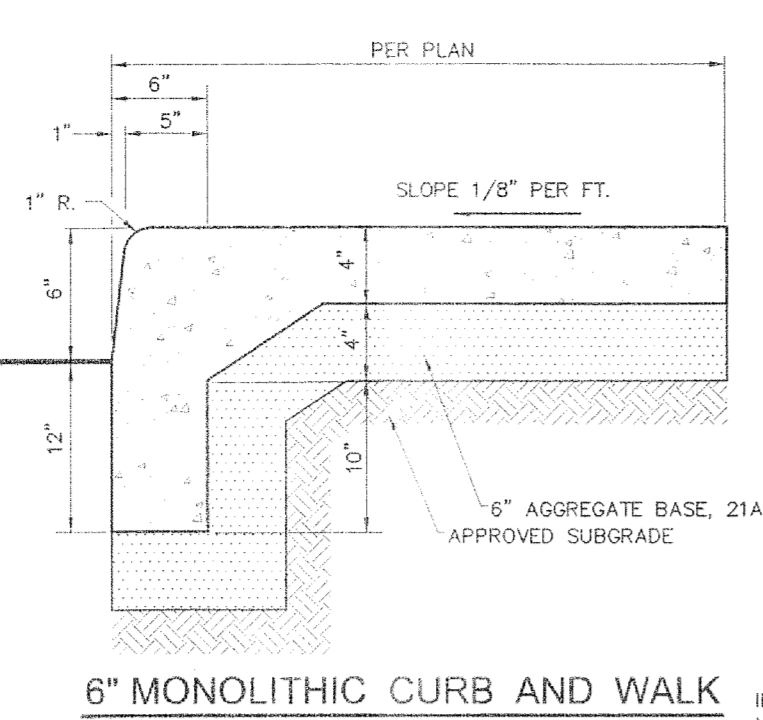
EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.



Weighted Run-off Coefficient Calculation - Existing

| | |
|----------------------------|-------------------------------|
| Site Area: | 25,644.76 S.F. or 0.589 Acres |
| Surface No. 1 - Pavement: | 18,488.10 S.F. or 0.424 Acres |
| Surface No. 2 - Building: | 3,995.69 S.F. or 0.092 Acres |
| Surface No. 3 - Landscape: | 3,160.97 S.F. or 0.073 Acres |
| Surface No. 4 - Other: | 0.00 S.F. or 0.000 Acres |
| Sum of Individual Areas: | 25,644.76 S.F. or 0.589 Acres |

| | |
|------------------------------|------|
| Surface No. 1 - Coefficient: | 0.90 |
| Surface No. 2 - Coefficient: | 0.90 |
| Surface No. 3 - Coefficient: | 0.15 |
| Surface No. 4 - Coefficient: | 0.00 |

Required Formula:
 $C \text{ (Average)} = \frac{\text{Area 1} \cdot C_1 + \text{Area 2} \cdot C_2 + \text{Area 3} \cdot C_3 + \text{Area 4} \cdot C_4}{\text{Area 1} + \text{Area 2} + \text{Area 3} + \text{Area 4}}$

$C \text{ (Average)} = 0.808$

Weighted Run-off Coefficient Calculation - Proposed

| | |
|----------------------------|-------------------------------|
| Site Area: | 25,644.76 S.F. or 0.589 Acres |
| Surface No. 1 - Pavement: | 15,789.72 S.F. or 0.362 Acres |
| Surface No. 2 - Building: | 4,651.23 S.F. or 0.107 Acres |
| Surface No. 3 - Landscape: | 5,203.81 S.F. or 0.119 Acres |
| Surface No. 4 - Other: | 0.00 S.F. or 0.000 Acres |
| Sum of Individual Areas: | 25,644.76 S.F. or 0.589 Acres |

| | |
|------------------------------|------|
| Surface No. 1 - Coefficient: | 0.90 |
| Surface No. 2 - Coefficient: | 0.90 |
| Surface No. 3 - Coefficient: | 0.15 |
| Surface No. 4 - Coefficient: | 0.00 |

Required Formula:
 $C \text{ (Average)} = \frac{\text{Area 1} \cdot C_1 + \text{Area 2} \cdot C_2 + \text{Area 3} \cdot C_3 + \text{Area 4} \cdot C_4}{\text{Area 1} + \text{Area 2} + \text{Area 3} + \text{Area 4}}$

$C \text{ (Average)} = 0.748$

DRAINAGE COVER NOTE

ALL CATCH BASIN COVERS SHALL BE RESTRICTED PER CITY OF GPW ENGINEERING REQUIREMENTS.
 MANHOLE - EJ 1040 FRAME, TYPE A SOLID COVER OR APPROVED EQUAL.
 CATCH BASIN OR INLET - EJ 5080 FRAME, TYPE M-3 (2.4 OR 6 HOLE RESTRICTED COVER OR EQUAL.

DETENTION NOTE

DETENTION SHALL NOT BE REQUIRED FOR THIS DEVELOPMENT, THE PROPOSED DEVELOPMENT HAS A DECREASED RUNOFF COEFFICIENT COMPARED TO THE EXISTING CONDITIONS.

PAVING LEGEND

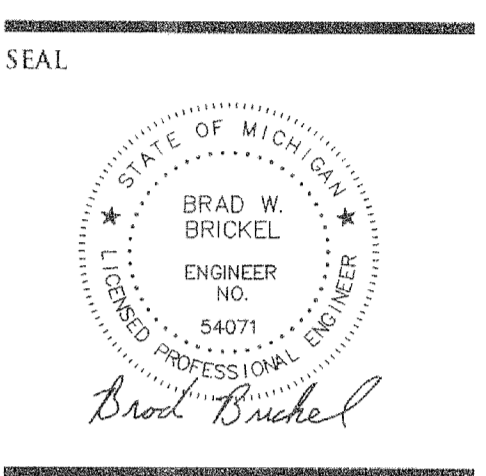
| | |
|-----------|----------------------------|
| [Pattern] | PROPOSED CONCRETE PAVEMENT |
| [Pattern] | PROPOSED ASPHALT PAVEMENT |

LEGEND

| | | |
|----------|--------------|-------------------------------|
| [Symbol] | MANHOLE | EXISTING SANITARY SEWER |
| [Symbol] | HYDRANT | SAN. CLEAN OUT |
| [Symbol] | MANHOLE | EXISTING WATERMAIN |
| [Symbol] | MANHOLE | EXISTING STORM SEWER |
| [Symbol] | UTILITY POLE | EX. R. Y. CATCH BASIN |
| [Symbol] | UTILITY POLE | EXISTING BURIED CABLES |
| [Symbol] | UTILITY POLE | OVERHEAD LINES |
| [Symbol] | UTILITY POLE | LIGHT POLE |
| [Symbol] | UTILITY POLE | SIGN |
| [Symbol] | UTILITY POLE | EXISTING GAS MAIN |
| [Symbol] | MANHOLE | PR. SANITARY SEWER |
| [Symbol] | HYDRANT | PR. WATER MAIN |
| [Symbol] | INLET | PR. STORM SEWER |
| [Symbol] | MANHOLE | PR. R. Y. CATCH BASIN |
| [Symbol] | MANHOLE | PROPOSED LIGHT POLE |
| [Symbol] | TC 600.00 | PR. TOP OF CURB ELEVATION |
| [Symbol] | GU 600.00 | PR. GUTTER ELEVATION |
| [Symbol] | TP 600.00 | PR. TOP OF WALK ELEVATION |
| [Symbol] | TP 600.00 | PR. TOP OF P.V.M.T. ELEVATION |
| [Symbol] | FG 600.00 | FINISH GRADE ELEVATION |



NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257



PROJECT
 Urgent Care Facility
 20599 Mack Avenue
 Grosse Pointe Woods, MI

CLIENT
 Hank Dickerson & Company
 8333 Douglas Avenue,
 Suite #1300 - LB #72
 Dallas, TX 75225

Contact: John Dickerson
 214.691.5300 - Phone
 214.691.8899 - Fax

PROJECT LOCATION
 Part of Private Claim 156,
 City of Grosse Pointe Woods,
 Wayne County, Michigan

SHEET
 Preliminary Grading /
 Utility Plan



REVISIONS
 05-29-15 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
 R. Johnson

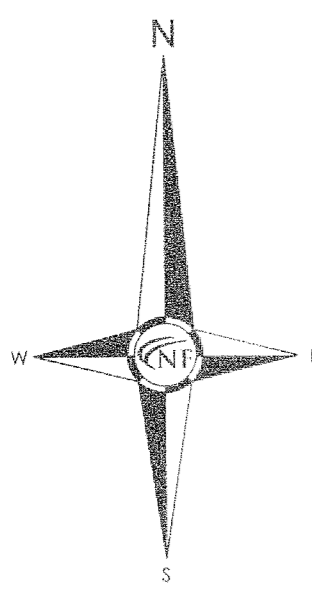
DESIGNED BY:
 B. Brickel

APPROVED BY:
 B. Brickel

DATE:
 May 29, 2015

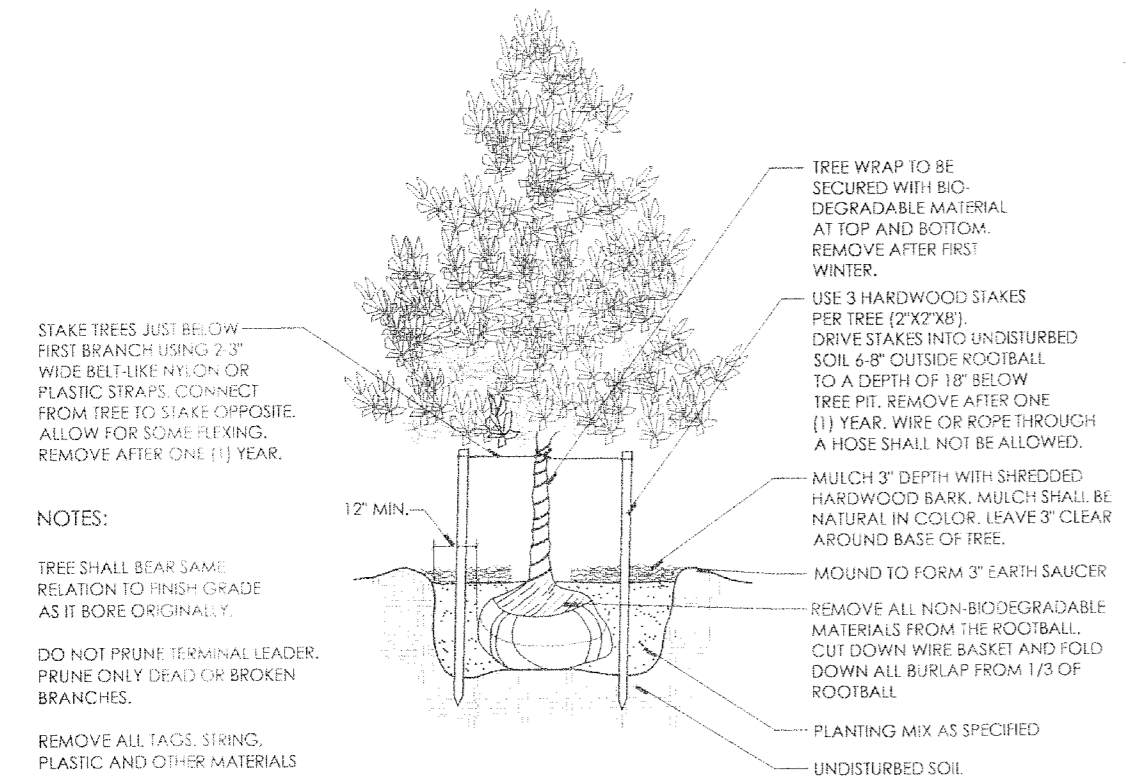
SCALE: 1" = 20'

NFE JOB NO. 1567 **SHEET NO.** SP3

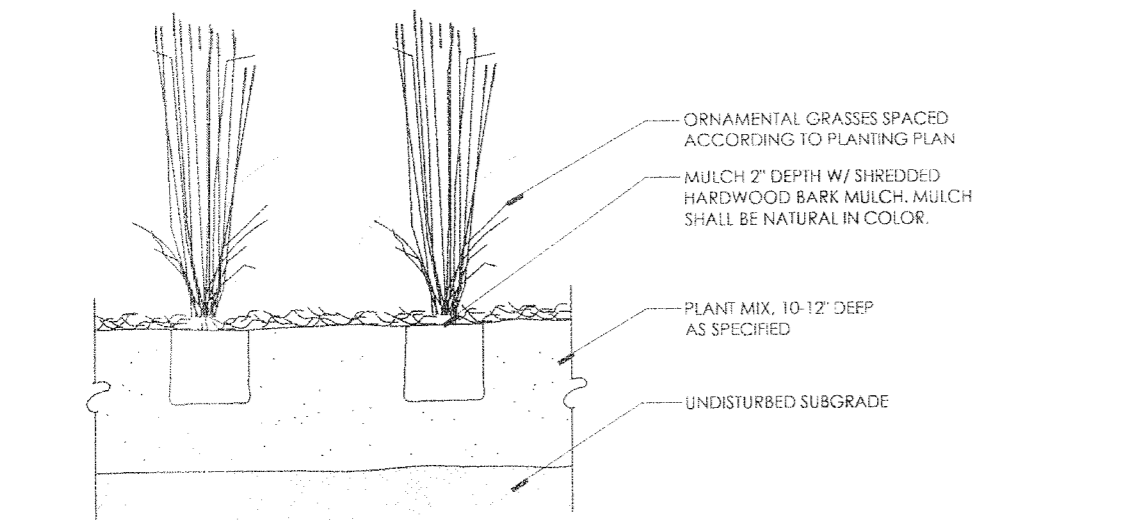


GROUND COVER KEY

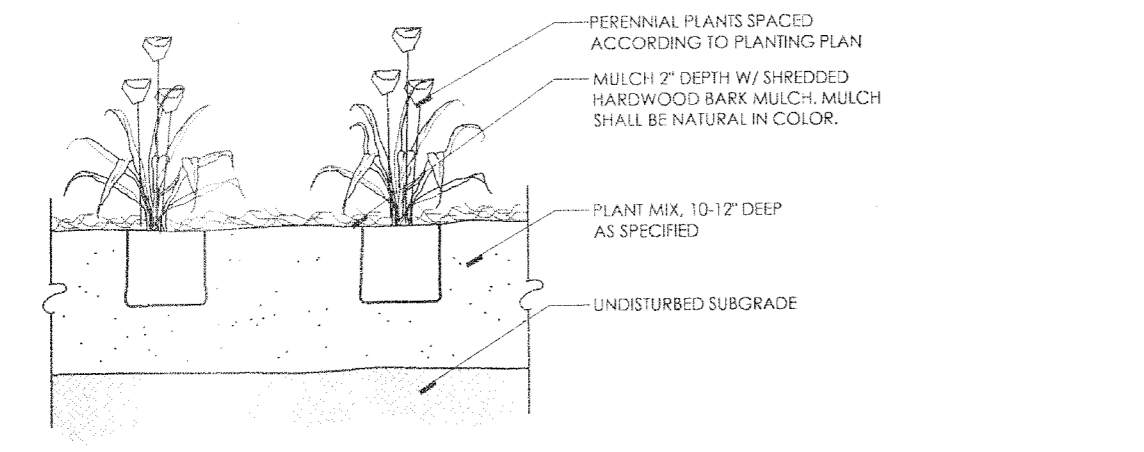
- 1 TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
- 2 RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
- 3 3-4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- 4 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- 5 3/4" - 1 1/2" STONE MULCH, 3-4" DEPTH ON WEED BARRIER



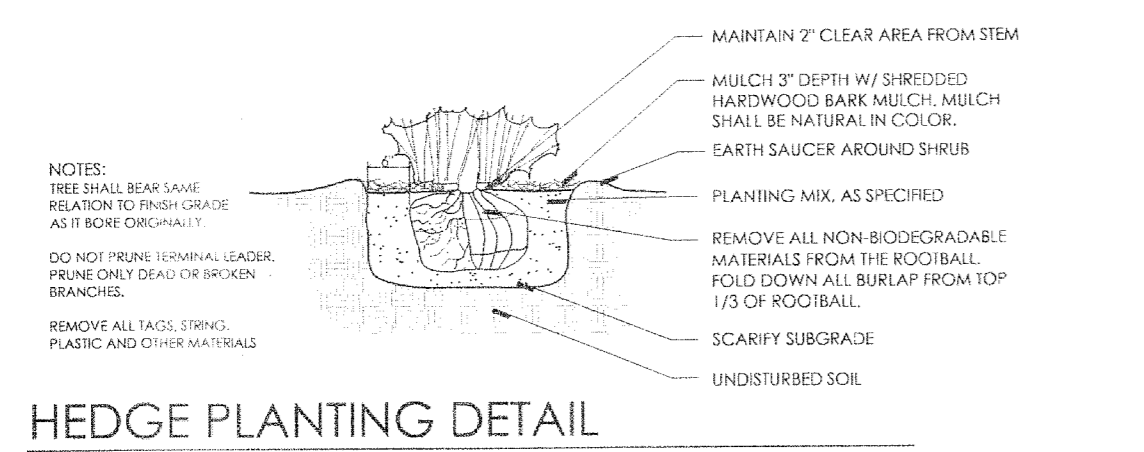
DECIDUOUS TREE PLANTING DETAIL



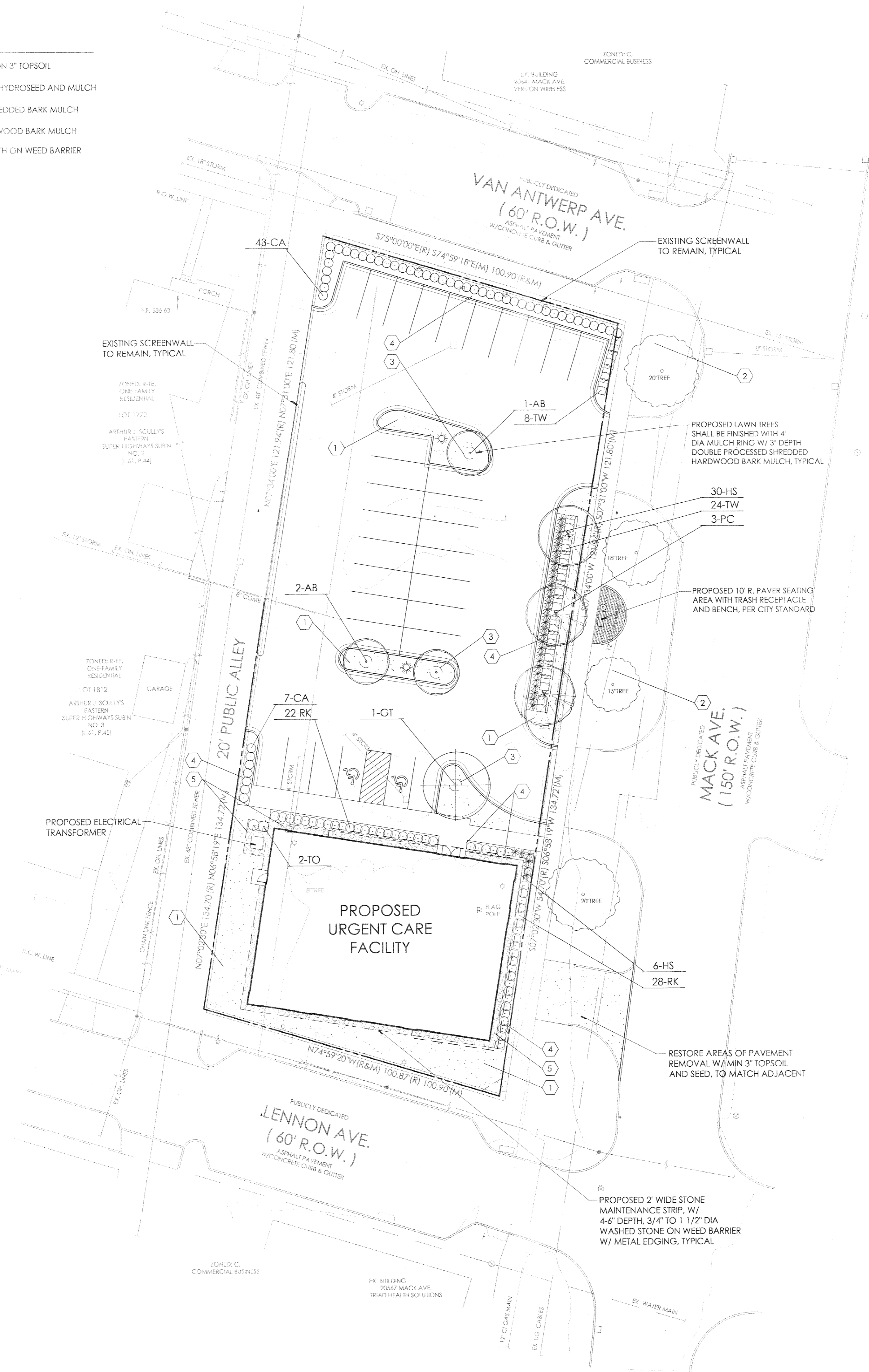
ORNAMENTAL GRASS PLANTING DETAIL



PERENNIAL PLANTING DETAIL



HEDGE PLANTING DETAIL



GENERAL LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR SHALL VISIT THE ABOVE EXISTING CONDITIONS AND REVIEW ENGINEERED PLANNING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES, CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
2. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION OR BEFORE THE START OF ANY WORK. DAMAGE OR REMEDIATION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES AND SHALL REPORT ANY UNACCEPTABLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF THE CONTRACTOR.
4. PLANTS SHALL BE DELIVERED AND IN HEALTHY, UNSTRESSED, GROWING CONDITION.
5. PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE. ALL TREES MUST BE STAKED, PRUNED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.
6. ALL MATERIAL SHALL CONFORM TO THE CONDITIONS SPECIFIED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARD FOR HURRY TREE".
7. CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATION AS NECESSARY TO SUPPORT PLANT MIX DEPTH IN ALL PLANTING AREAS AS INDICATED IN PLANT DETAILS AND A DEPTH OF 4" IN ALL LAWN AREAS.
8. PROVIDE CLEAN BACKFILL SOIL USING MATERIAL STOCKPILED ON-SITE. SOIL SHALL BE TAMPED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE. SLOW RELEASE FERTILIZER SHALL BE ADDED TO THE PLANTING MIX PER BAG BACKFILL APPLICATION SHALL BE AT THE MANUFACTURER'S RECOMMENDED RATE.
9. AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/2" SCREENED TOPSOIL (3" SAND) AND 1/3" DAIRY "000" COMPOST, MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
10. ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A DEPTH OF 3" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GROUNDCOVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL AND PRICES ON INCONSISTENT SITE.
11. NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
12. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
13. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL POSITION THROUGHOUT THE GUARANTEE PERIOD.
14. THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.
15. THE LANDSCAPE CONTRACTOR SHALL TEST AND MULTI-CRUSH SOILS INDICATED ON PLANS IN ALL AREAS DESIGNATED AS SUCH ON THE PLANS. "INDICATED" IS THE CONTRACT LIMITS. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING AREAS DESIGNATED DURING CONSTRUCTION WITH THE CONTRACTOR'S OBLIGATION TO EXHAUST GREATER CONDITION.
16. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
17. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

GENERAL SOD NOTE:

ALL LAWN AREAS DESIGNATED TO BE SODDED, SHALL BE SODDED WITH A BLENDED DURABLE BLUEGRASS SOD, TYPICALLY GROWN IN THE REGION. ALL TURF SHALL BE PLACED ON A MINIMUM 3" PREPARED TOPSOIL, AND WATERED DAILY UNTIL ESTABLISHMENT. IN AREAS SUBJECT TO EROSION, SODDED LAWN SHALL BE STABILIZED WHERE NECESSARY, AND LAID PERPENDICULAR TO SLOPES. SOD INSTALLATION SHALL OCCUR ONLY: SPRING: APRIL TO JUNE; FALL: AUGUST 15 TO OCTOBER 15.

GENERAL SEED NOTE:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRO-SEEDING WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE), IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED. SEEDING INSTALLATION SHALL OCCUR ONLY: SPRING: APRIL TO JUNE; FALL: AUGUST 15 TO OCTOBER 15.

TYPICAL SEEDING LAWN MIX:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDROSEEDING WITH TYPICAL DROUGHT TOLERANT, DURABLE BLENDED SEED MIX, AT A RATE OF 220 LBS PER ACRE. MIX IS COMPRISED OF:
 30% NITE HAWK PERENNIAL RYE
 30% KENTUCKY BLUEGRASS
 20% CREEPING RED FESCUE
 10% MERT KENTUCKY BLUEGRASS
 10% NEWPORT KENTUCKY BLUEGRASS

NOTE:

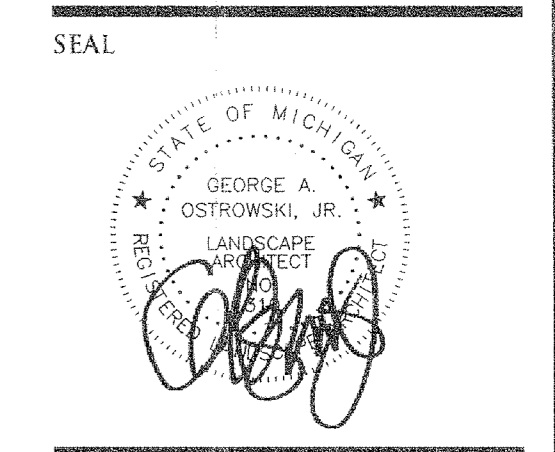
IRRIGATION SHALL BE PROVIDED

PLANT SCHEDULE

| KEY | QTY | BOTANICAL/COMMON NAME | SIZE | SPACING | ROOT | COMMENT |
|--------------------------------|-----|-------------------------------------|----------|----------|------|---------------------|
| TREES | | | | | | |
| AB | 3 | Acer rubrum 'Browhoff' | 2.5" CAL | SEE PLAN | B&B | FULL, MATCHED HEADS |
| GT | 1 | Quercus macrocarpa 'Sunburst' | 2.5" CAL | SEE PLAN | B&B | FULL, MATCHED HEADS |
| PC | 3 | Pyrus calleryana 'Cleveland Select' | 2.5" CAL | SEE PLAN | B&B | FULL, MATCHED HEADS |
| SHRUBS | | | | | | |
| RK | 50 | Rosa 'Double Knockout' | 30" HT | 30" OC | CONT | |
| TW | 50 | Toxus x m. 'Wardii' | 30" HT | 3" OC | B&B | |
| TO | 2 | Thuja occidentalis 'Techny' | 5' HT | 42" OC | B&B | |
| GROUNDCOVERS/PERENNIALS | | | | | | |
| CA | 50 | Calamagrostis s. 'Karl Foerster' | 5 GAL | 30" OC | CONT | |
| HS | 36 | Hemerocallis 'Stella D'Oro' | 2 GAL | 24" OC | CONT | |



NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL: (248) 332-7931
 FAX: (248) 332-8257



PROJECT
 Urgent Care Facility
 20599 Mack Avenue
 Grosse Pointe Woods, MI

CLIENT
 Hank Dickerson & Company
 8333 Douglas Avenue,
 Suite #1300 - LB #72
 Dallas, TX 75225

Contact: John Dickerson
 214.691.5300 - Phone
 214.691.8899 - Fax

PROJECT LOCATION
 Part of Private Claim 156,
 City of Grosse Pointe Woods,
 Wayne County, Michigan

SHEET
 Landscape Plan

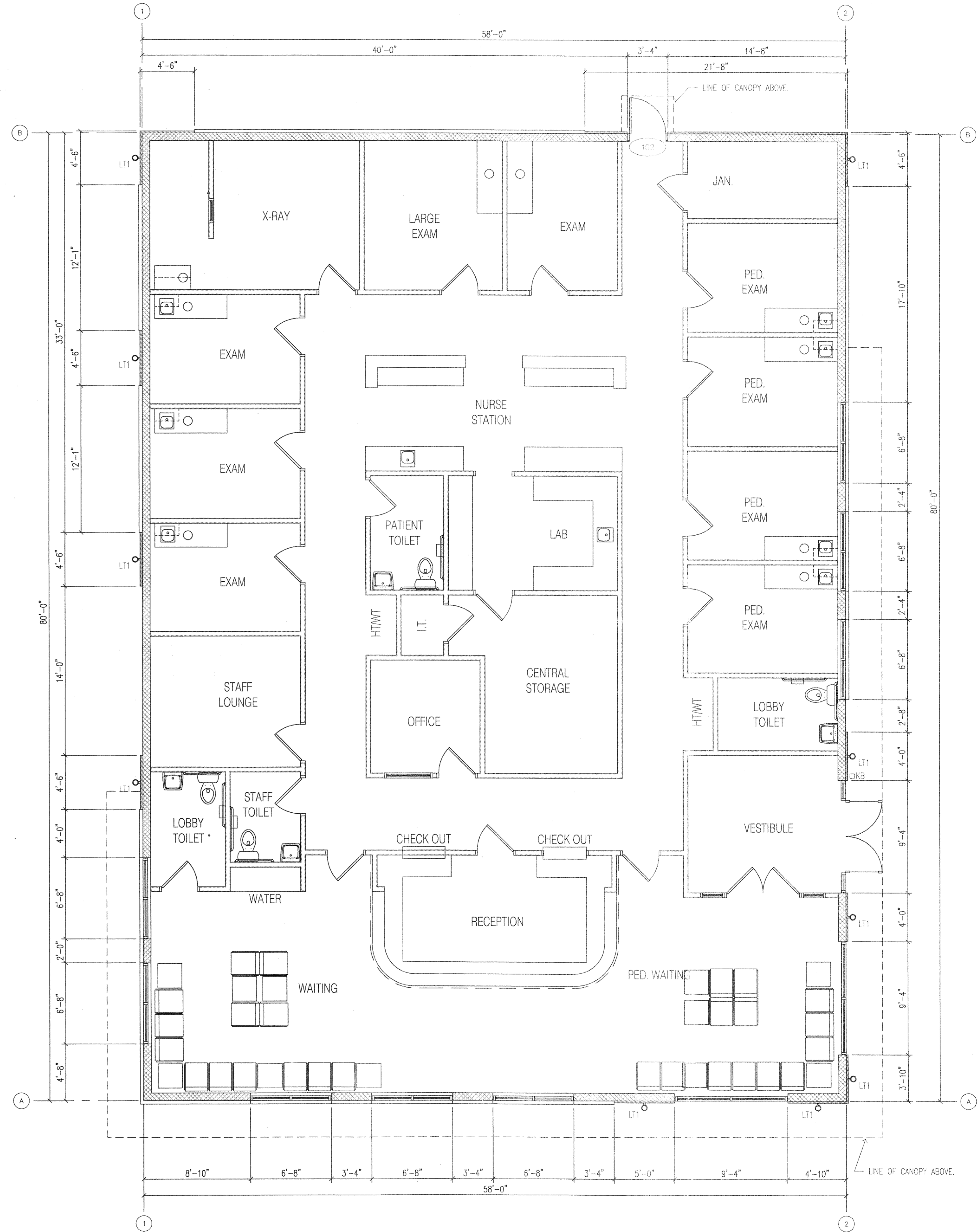


REVISIONS
 05-29-15 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
 G. Ostrowski
DESIGNED BY:
 G. Ostrowski
APPROVED BY:
 G. Ostrowski
DATE:
 May 29, 2015

SCALE: 1" = 20'
 0 10 20 30
NFE JOB NO. 1567 **SHEET NO.** L1

All drawings and written material herein constitute the original and unpublished work of the Architect, and the same may not be duplicated, used or disclosed without the written consent of the Architect.



1 SCHEMATIC FLOOR PLAN
SCALE: 3/16" = 1'-0"

GROSSE POINTE WOODS, MI



DICKERSON DEVELOPMENT
8333 Douglas Avenue, Suite 1300
Dallas, Texas 75225

A NEW PROJECT
URGENT CARE SHELL
20599 MACK AVENUE GROSSE POINTE WOODS, MI

REVISIONS:

DATE: 20 MAY 2015
JOB NO.: 15002
SHEET: SCHEMATIC FLOOR PLAN
A2.01

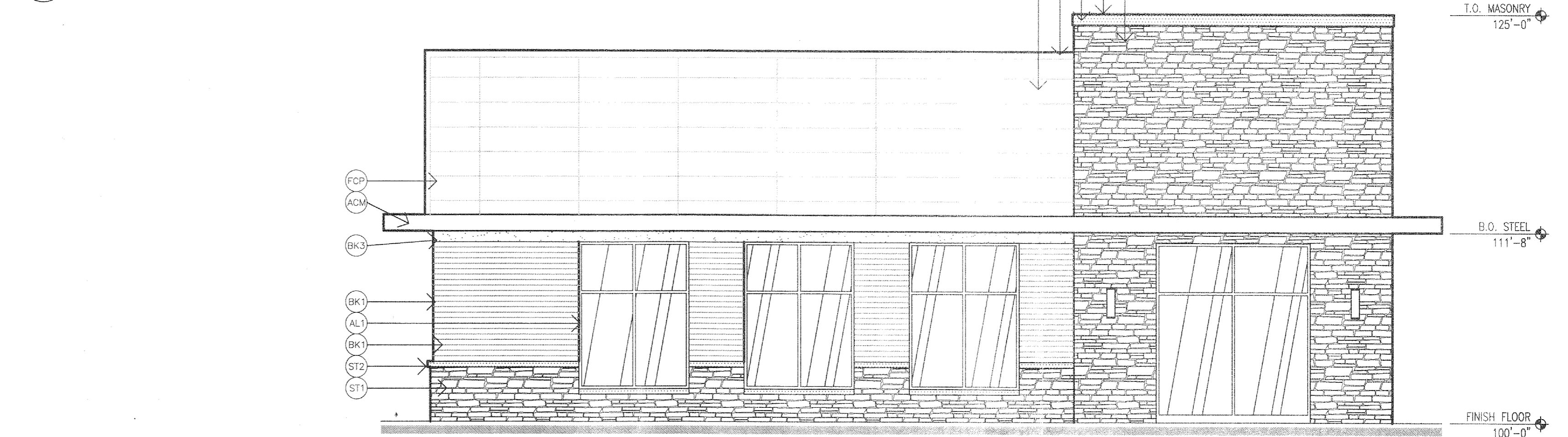
| | |
|-----------|------------|
| DWG. FILE | PLOT SCALE |
| 0000 | FULL |

EXTERIOR FINISH SCHEDULE

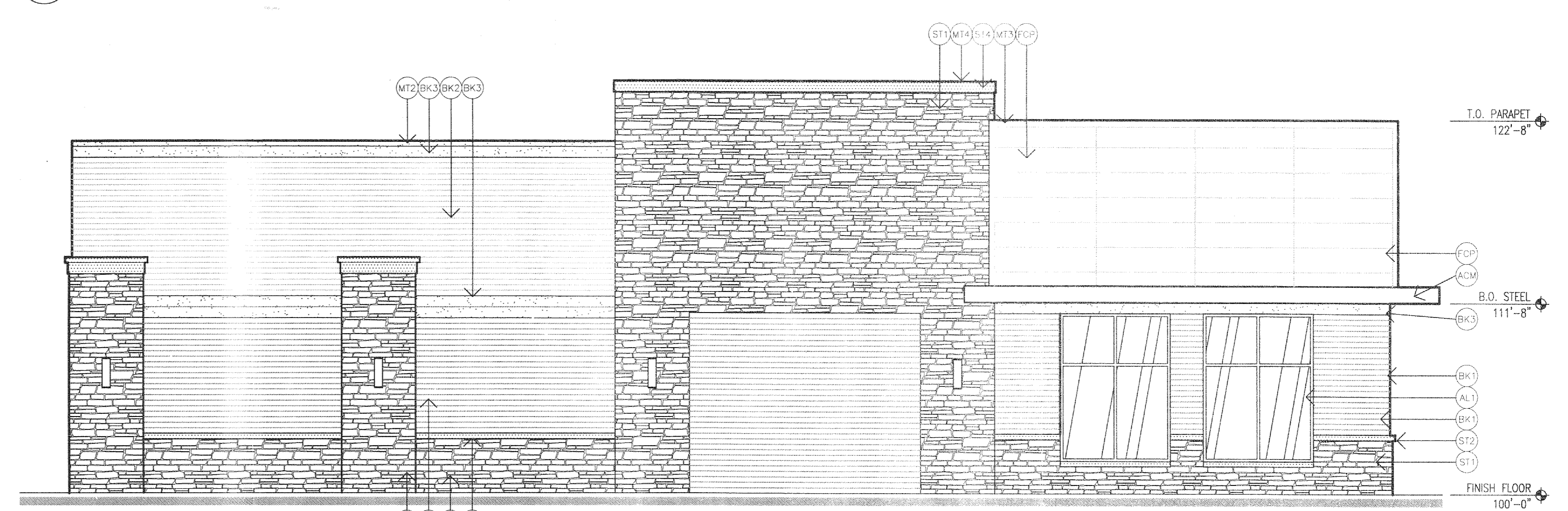
| | | | | | |
|-----|---|--|-----|---|--|
| ACM | PREFINISHED ALUMINUM COMPOSITE PANELS. COLOR: NO. 28 MEDIUM BRONZE (MATCH AL1). | REYNOLBOND, ALUCOBOND, OR APPROVED EQUAL. | MT3 | PREFINISHED METAL COPING. COLOR: MATCH FCP | |
| AL1 | ALUMINUM STOREFRONT WINDOW SYSTEM. TRI-FAB #451 (OR APPROVED EQUAL). COLOR: NO. 28 MEDIUM BRONZE. | KAWNEER OR APPROVED EQUAL. | MT4 | PREFINISHED METAL COPING. COLOR: MATCH ST4 | |
| BK1 | SPEC-BRK ARCHITECTURAL CONCRETE BRICK. STANTON BLEND. | HEADWATERS ERIC MONTE 888-202-9272 | PT1 | PAINT TO MATCH AL1 (NO. 28 MEDIUM BRONZE). | SHERWIN WILLIAMS |
| BK2 | SPEC-BRK ARCHITECTURAL CONCRETE BRICK. PANAMA CITY BLEND. | HEADWATERS ERIC MONTE 888-202-9272 | PT2 | PAINT TO MATCH EF1. | SHERWIN WILLIAMS |
| BK3 | SPLITFACE CMU. LIMESTONE. | HEADWATERS ERIC MONTE 888-202-9272 | PT3 | "TRAFFIC YELLOW" PAINT. | SHERWIN WILLIAMS |
| BK4 | ARRISRAFT (OR APPROVED EQUAL) MASONRY UNIT SILL BLOCK. 3-5/8" h x 23-5/8" x 7-5/8" bed w/ 3" EXPOSED CHAMFER. COLOR: LIMESTONE. NOTE: INDIVIDUAL UNIT LENGTHS NOT TO BE SHORTER THAN 12". | BLACKSON BRICK CO. BART SNOWDEN 214-855-5051 | PT4 | PAINT TO MATCH FCP (SW6866 "HEARTHROB"). | SHERWIN WILLIAMS |
| FCP | PREFINISHED CEMENT COMPOSITE PANELS. ILLUMINATION SERIES. FACTORY-APPLIED COLOR TO MATCH SHERWIN WILLIAMS SW6866 "HEARTHROB" | NICHHA JEFF LOCKE 512-354-6180 | ST1 | EL DORADO STONE MANZANITA CLIFFSTONE w/ DRY-STACK GROUT TECHNIQUE. NOTE: ALL CORNERS TO BE FULL CORNER UNITS. NO EXPOSED CUTS. | HEADWATERS ERIC MONTE 888-202-9272 |
| LT1 | EXTERIOR LIGHT SCONCE MOUNTED ON EL DORADO LIGHTBOX UTILITY ACCENT. (SIZE: 9 1/2"x11". COLOR: BUCKSKIN.) | | ST2 | EL DORADO WAINSCOT SILL / WATERTABLE. COLOR: WALNUT. SNAPPED EDGE FINISH. NO EXPOSED CUTS / CORNERS TO BE QUIRK MITERED. INDIVIDUAL UNIT LENGTHS NOT TO BE SHORTER THAN 10" | HEADWATERS ERIC MONTE 888-202-9272 |
| LT2 | EXTERIOR WALL PACK. | | ST3 | ARRISRAFT (OR APPROVED EQUAL) CAST STONE LIPPED UNIT. 7-5/8" h x 23-5/8" x 3-5/8" bed w/ 1-1/2" EXPOSED CHAMFER. COLOR: LIMESTONE. NOTE: INDIVIDUAL UNIT LENGTHS NOT TO BE SHORTER THAN 12". | BLACKSON BRICK CO. BART SNOWDEN 214-855-5051 |
| MT1 | PREFINISHED METAL TO MATCH AL1 (NO. 28 MEDIUM BRONZE). | | ST4 | ARRISRAFT (OR APPROVED EQUAL) CAST STONE LIPPED UNIT. 11-5/8" h x 23-5/8" x 3-5/8" bed w/ 1-1/2" EXPOSED CHAMFER. COLOR: LIMESTONE. NOTE: INDIVIDUAL UNIT LENGTHS NOT TO BE SHORTER THAN 12". | BLACKSON BRICK CO. BART SNOWDEN 214-855-5051 |
| MT2 | PREFINISHED METAL COPING. COLOR: MATCH BK3 | | | | |

NOTE: NO EXPOSED CUT EDGES ON STONE. ALL CORNERS TO BE EITHER FULL CORNER SHAPES AND/OR FULL QUIRK MITERED CUTS.

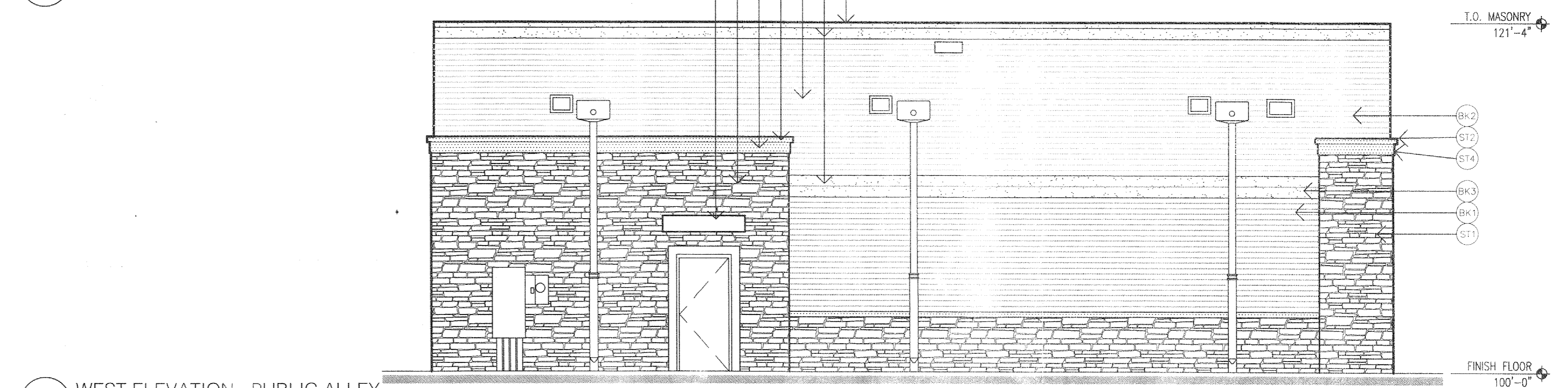
4 NORTH ELEVATION - VAN ANTWERP AVENUE
SCALE: 3/16" = 1'-0"



3 EAST ELEVATION - MACK AVENUE
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION - LENNON AVENUE
SCALE: 3/16" = 1'-0"



1 WEST ELEVATION - PUBLIC ALLEY
SCALE: 3/16" = 1'-0"

GROSSE POINTE
WOODS, MI

RL+
g
RENEE LYNN + GLOTTA

DICKERSON DEVELOPMENT
8333 Douglas Avenue Suite 1300
Dallas, Texas 75225

A NEW PROJECT
URGENT CARE SHELL
20599 MACK AVENUE
GROSSE POINTE WOODS, MI

REVISIONS:

DATE: 28 MAY 2015
JOB NO.: 15002
SHEET: EXTERIOR ELEVATIONS
A3.01

DWG. FILE: 0000
PLOT SCALE: FULL

All drawings and written material herein constitute the original and unpublished work of the Architect, and the same may not be duplicated, used or disclosed without the written consent of the Architect.

**City of Grosse Pointe Woods
BUILDING DEPARTMENT
Monthly Financial Report – MAY 2015**

Permits Issued: 199
Rental Certificates: 11 **Total: \$ 34,344**

CODE ENFORCEMENT

| | |
|--|----|
| Abandoned/Foreclosure Compl. Notices Issued: | 1 |
| # of Complaints Investigated by Code Enforcement: | 45 |
| Closed Due to Compliance: | 34 |
| Open for Longer Compliance Time: | 1 |
| Citations Issued: | 2 |
| Early Trash Notices: | 12 |
| Code Violation Notices to Residents: | 27 |
| Tall Grass Notices Issued: | 89 |
| Stop Work notices to Contractors (working w/o permit): | 17 |
| Outside Storage: | 13 |

NEW BUSINESS

Monogram Lady, 1841 Lancaster
Adorn Hair & Nail Salon, LLC, 20788 Mack Avenue (New name/owner)